



City of Harrisonburg

409 S. Main Street
Harrisonburg, VA 22801

Meeting Agenda - Final City Council

Tuesday, May 26, 2026

7:00 PM

Council Chambers

1. Roll Call

2. Moment of Silence

3. Pledge of Allegiance

4. Special Recognition

5. Consent Agenda (any item placed on the consent agenda shall be removed and taken up as a separate matter, if so requested by any member of Council, otherwise all items will be voted on with one (1) motion)

5.a. Minutes from the May 12, 2026 special meeting of City Council and the May 12, 2026 City Council meeting

Attachments: [Special Meeting Minutes](#)
[City Council Meeting Minutes](#)

5.b. Consider a request from Collicello North LLC to amend the approved master development plan (rezoning) for various addresses on Collicello Street and Kates Lane.

Attachments: [Memorandum](#)
[Extract from Planning Commission](#)
[Updated Application and Supporting Documents](#)
[Site Maps](#)
[2013 staff report for the Collicello North Master Plan](#)
[2013 Collicello North Approved Master Plan](#)
[What is an R-7 Development? Information Sheet](#)
[PC Memorandum](#)
[Application and Supporting Documents](#)
[CC Notice of Public Hearing 5-12-26](#)
[Surrounding Property Owners Notice](#)
[Presentation](#)

- 5.c. Consider adopting an Ordinance for administrative issuance of Encroachment Licenses in downtown

Attachments: [Memorandum](#)
 [Proposed Ordinance](#)
 [Presentation](#)

6. Public Hearings

- 6.a. Public hearing regarding the real estate tax rate for Fiscal Year 2026-2027 to be set at \$1.01 per \$100 of assessed value

Attachments: [Memorandum](#)
 [Public Hearing Notice](#)

7. Regular Items

- 7.a. Presentation on the Point in Time Count

Attachments: [Presentation](#)

- 7.b. Consider Approval of 2026 CDBG Action Plan

Attachments: [Memorandum](#)
 [Tentative Schedule](#)
 [Presentation](#)

- 7.c. Consider adopting the Fiscal Year 2026-2027 budget and approving the Appropriation Ordinance

Attachments: [Memorandum Amended Appropriation Ordinance](#)
 [Appropriation Ordinance Amended](#)
 [Changes to Appropriation Ordinance](#)
 [Memorandum](#)
 [Appropriation Ordinance](#)
 [Civic and Community Organizations](#)

- 7.d. Consider adopting a resolution for the Virginia Department of Transportation (VDOT) Project Funding and Signature Authority

Attachments: [Memorandum](#)
 [Resolution](#)

7.e. Presentation of the Downtown Master Planting Plan

Attachments: [Memorandum](#)
[Downtown Master Planting Plan](#)
[Presentation- Downtown Master Planting Plan1](#)

7.f. Consider approving the update on the Stormwater Improvement Plan

Attachments: [Memorandum- Stormwater Improvement Plan Update](#)
[2024 City of Harrisonburg SWIP](#)
[Presentation](#)

7.g. Update on the Stormwater Program

Attachments: [Memorandum- Stormwater Program Update](#)
[Presentation](#)

8. Other Matters

8.a. Comments from the public, limited to five minutes, on matters not on the regular agenda. (Name and address are required)

8.b. City Council and Staff

10. Closed Session

Consultation with legal counsel regarding specific legal matters requiring the provision of legal advice by such counsel.

10.a. Closed Session as authorized by the Virginia Freedom of Information Act, Virginia Code Section 2.2-3711(A), under:

Subsection 7 for consultation with legal counsel and staff regarding actual or probable litigation where such consultation in open session would adversely affect the negotiating or litigating posture of City Council.

11. Adjournment**NOTE TO THE PUBLIC:**

Residents/Media will be able to attend the meeting.

The Public can also view the meeting live on:

- The City's website, <https://harrisonburg-va.legistar.com/Calendar.aspx>
- Public Education Government Channel 1072

A phone line will also be live where residents will be allowed to call in and speak with City Council during the Public Hearings and the Public Comments portion of the night's meeting. We ask those that wish to speak during the public comment period to not call in until after all the public hearings and public comment on those have been heard. This will avoid anyone calling on any other item from holding up the queue and then being asked to call back at a later time.

The telephone number to call in is: (540) 437-2687

Residents also may provide comment prior to the meeting by visiting this page:
www.harrisonburgva.gov/agenda-comments

Interpretation Services

Language interpretation service in Spanish, Arabic and Kurdish is available for City Council meetings. To ensure that interpreters are available at the meeting, interested persons must request the accommodation at least four (4) calendar days in advance of the meeting by contacting the City Clerk at (540) 432-7701 or by submitting a request online at: www.harrisonburgva.gov/interpreter-request-form

El servicio de intérpretes inglés-español está disponible para las reuniones públicas del consejo municipal. Para asegurar la disponibilidad de intérpretes, cualquier interesado deberá solicitar la presencia de un intérprete al menos cuatro (4) días calendarios antes de la reunión comunicándose con la Secretaría Municipal al (540) 432-7701 o por medio de la página por internet al: <https://www.harrisonburgva.gov/interpreter-request-form>



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ID 26-182, **Version:** 1



City of Harrisonburg

409 S. Main Street
Harrisonburg, VA 22801

Meeting Minutes - Draft City Council

Tuesday, May 12, 2026

6:00 PM

Council Chambers

Special Meeting

1. Roll Call

Present: 5 - Mayor Deanna R. Reed, Vice-Mayor Dany Fleming, Council Member Laura Dent, Council Member Nasser Alsaadun and Council Member Monica Robinson

Also Present: 5 - City Manager Ande Banks, City Attorney Chris Brown, Chief Matthew Tobia, Police Chief Joseph Tucker and Deputy City Clerk Brian Vandenberg

2. Closed Session

- 2.a. Closed Session as authorized by the Virginia Freedom of Information Act, Virginia Code Section 2.2-3711(A), under:

Subsection 7 for consultation with legal counsel and staff regarding actual or probable litigation where such consultation in open session would adversely affect the negotiating or litigating posture of City Council.

A motion was made by Council Member Robinson, seconded by Vice Mayor Fleming, to enter into closed session as authorized by the Virginia Freedom of Information Act, Virginia Code Section 2.2-3711(A), under Subsection 7 for consultation with legal counsel and staff regarding actual or probable litigation where such consultation in open session would adversely affect the negotiating or litigating posture of City Council. The motion carried with a recorded roll call vote taken as follows:

Yes: 5 - Mayor Reed, Vice-Mayor Fleming, Council Member Dent, Council Member Alsaadun and Council Member Robinson

No: 0

3. Adjournment

The closed session ended and the regular session reconvened. City Attorney Brown read the following statement, which was agreed to with a unanimous recorded vote of Council: I hereby certify that to the best of my knowledge (1) only public business matters lawfully exempted from open meeting requirements under Chapter 37 of Title 2.2 of the Code, of Virginia, 1950, as amended, and (2) only such public business matters as were identified in the motion by which the closed meeting was convened were heard, discussed or considered in the closed meeting by the City Council.

At 7:20p.m., May 12, 2026, there being no further business and on motion adopted, the meeting was adjourned.

CITY CLERK

MAYOR



City of Harrisonburg

409 S. Main Street
Harrisonburg, VA 22801

Meeting Minutes - Draft City Council

Tuesday, May 12, 2026

7:00 PM

Council Chambers

1. Roll Call

Present: 5 - Mayor Deanna R. Reed, Vice-Mayor Dany Fleming, Council Member Laura Dent, Council Member Nasser Alsaadun and Council Member Monica Robinson

Also Present: 5 - City Manager Ande Banks, City Attorney Chris Brown, Chief Matthew Tobia, Police Chief Joseph Tucker and Deputy City Clerk Brian Vandenberg

2. Moment of Silence

Mayor Reed led the Moment of Silence.

3. Pledge of Allegiance

Mayor Reed led the Pledge of Allegiance.

4. Special Recognition

4.a. Proclamation for National Police Week

Mayor Reed proclaimed May 10-16, 2026 as Police Week and presented a proclamation to Chief Tucker.

5. Consent Agenda (any item placed on the consent agenda shall be removed and taken up as a separate matter, if so requested by any member of Council, otherwise all items will be voted on with one (1) motion)

A motion was made by Council Member Robinson, seconded by Vice-Mayor Fleming, to approve the consent agenda as presented. The motion carried with a recorded roll call vote taken as follows:

Yes: 5 - Mayor Reed, Vice-Mayor Fleming, Council Member Dent, Council Member Alsaadun and Council Member Robinson

No: 0

5.a. Minutes from the April 28, 2026 City Council meeting

These minutes were approved on the consent agenda.

6. Public Hearings

6.a. Consider a request from Mick or Mack LC for a special use permit at 140 East Wolfe Street

Adam Fletcher, Director of Community Development, provided an overview of where the property falls on the zoning map and the land use guide; the applicant's proposed use for the property; and conditions of the nature of canning operations at the facility. Mr. Fletcher stated staff and Planning Commission (5-0) recommended approval with a stated condition.

At 7:34 p.m., Mayor Reed closed the regular session and called the first public hearing to order. A notice appeared in the Daily News-Record on April 29 and May 6.

Jeffrey Moon, the applicant, made himself available for questions. Council Member Alsaadun asked about the intended age use of the arcade section. Applicant clarified its use for all ages and also specified that the canning manufacturing portion would not be accessible to children.

Panayotis Giannakouros questioned the potential effects of approving the permit on other potential uses.

At 7:37 p.m. Mayor Reed closed the public hearing and the regular session reconvened.

Vice Mayor Fleming expressed support for the business.

Council Member Alsaadun asked if the SUP remained with the property if the owner stops operating. Mr Fletcher said yes, unless the site remains dormant for 24 months.

Council Member Dent said that the Friendly City Co-op had no desire to expand to this portion of the site and expressed support for this permit.

Mayor Reed asked about food and drink at the facility and the applicant stated it would be prepackaged food and alcoholic beverages, because a commercial kitchen was too expensive at this time.

Council Member Robinson expressed support for this type of establishment at this location.

A motion was made by Council Member Dent, seconded by Vice-Mayor Fleming, to approve the special use permit with the condition as presented. The motion carried with a recorded roll call vote taken as follows:

Yes: 5 - Mayor Reed, Vice-Mayor Fleming, Council Member Dent, Council Member Alsaadun and Council Member Robinson

No: 0

- 6.b.** Consider a request from Big Brother and Holdings CO LLC for a special use permit at 165 South Main Street

Adam Fletcher, Director of Community Development, explained the nature of the

request to bring the short term rental unit into compliance; that the use is aligned with zoning; and the requirements of short term rentals in Harrisonburg. He stated staff and Planning Commission (5-0) recommended approval with stated conditions.

At 7:47 p.m. Mayor Reed closed the regular session and called the second public hearing to order. A notice appeared in the Daily News-Record on April 29 and May 6.

Margaret Clark 165 S. Main Street, the applicant, made herself available for questions. Vice Mayor Fleming asked who typically uses the rental and the applicant specified it was individuals associated with visiting JMU. Council Member Dent asked about clarification on who would act as the operator and the applicant specified it would be an individual adjacent to the unit.

Panayotis Giannakouros argued that short term rentals would not become an economic liability to the community and offered support of the use.

At 7:53 Mayor Reed closed the public hearing and the regular session reconvened.

A motion was made by Council Member Alsaadun, seconded by Vice-Mayor Fleming, to approve the special use permit with conditions as presented. The motion carried with a recorded roll call vote taken as follows:

Yes: 5 - Mayor Reed, Vice-Mayor Fleming, Council Member Dent, Council Member Alsaadun and Council Member Robinson

No: 0

- 6.c.** Consider a request from Collicello North LLC to amend the approved master development plan (rezoning) for various addresses on Collicello Street and Kates Lane.

Adam Fletcher, Director of Community Development, spoke on the history of the master plan for the site and how the development has sat idle for some time; the zoning and land use designation for the site; that the applicant's plan for the site remains consistent with originally approved plan; the requirements of R-7 master plans; requests of applicant to deviate from original plan as it relates to solar requirements, building designs, and other issues; and the status of infrastructure at the site.

Mr. Fletcher stated staff and Planning Commission (5-0) recommended approval.

Vice Mayor Fleming asked about easements and connectivity to the northeast portion of the site along Edom Road. He asked if the 3rd Street bus stop nearby was ADA compliant. Mr. Fletcher said he would need to follow up.

At 8:10 p.m. Mayor Reed closed the regular session and called the third public hearing to order. A notice appeared in the Daily News-Record on April 29 and May 6.

Jordan Bowman, representative of applicant, spoke on the reasoning behind requesting modifications to the original site plan and said he would follow up about the Edom Road access. He said they could make commitments towards bus stop accessibility when information about needed upgrades are known.

Council Member Dent expressed disappointment that solar would no longer be required on homes in the development but was satisfied that the homes would be solar ready.

Vice Mayor Fleming asked and Mr. Bowman clarified these units would not be certified affordable housing, but entry level, market rate housing.

Panayotis Giannakouros spoke on prior discussion about a community garden in the area when originally brought forward and how density sometimes leads to fewer environmental amenities.

At 8:26 p.m. Mayor Reed closed the public hearing and the regular session reconvened.

A motion was made by Council Member Dent, seconded by Council Member Robinson, to amend the master development plan as presented. The motion carried with a recorded roll call vote taken as follows:

Yes: 5 - Mayor Reed, Vice-Mayor Fleming, Council Member Dent, Council Member Alsaadun and Council Member Robinson

No: 0

7. Regular Items

- 7.a.** Consider adopting an Ordinance for administrative issuance of Encroachment Licenses in downtown

Adam Fletcher, Director of Community Development, spoke on the need for the new chapter on encroachments; provided examples of encroachments on rights of way; what would be acceptable to be approved by staff vs. City Council; and outlined other requirements for applicants.

Council Member Alsaadun asked if encroachments licenses expired and City Attorney Brown indicated no. Council Member Alsaadun asked if there was a process if businesses exceed what they were originally approved for. Mr. Fletcher said that his office is made aware if residents express concern about a particular instance.

A motion was made by Council Member Robinson, seconded by Council Member Alsaadun, to adopt the ordinance as presented. The motion carried with a recorded roll call vote taken as follows:

Yes: 5 - Mayor Reed, Vice-Mayor Fleming, Council Member Dent, Council Member Alsaadun and Council Member Robinson

No: 0

7.b. Presentation on the Zoning Ordinance Update Project and to consider a request to endorse staff's recommended approach for 2026

Wesley Russ, Deputy City Attorney, presented on project history; research conducted on other communities; current status of the project; principles behind changes being recommended to the ordinance, including infrastructure capacity, public input in future developments, and neighborhood stability; the need to use simpler language and replace all zoning districts; a streamlined table for allowed uses; and proposed changes to zoning districts.

Thanh Dang, Deputy Director of Community Development discussed the next steps in the rewriting process, including community engagement, a future public hearing and implementation; and staff recommendation about the overall process and the ordinance advisory committee.

Council Member Dent expressed concern about disbanding the ordinance advisory committee.

Vice Mayor Fleming asked about how new zoning categories were determined and Mr. Russ replied how similar designations could be found throughout the urbanizing municipalities in the Commonwealth and how it reflected the City's current development pattern. Vice Mayor Fleming asked about the nonconforming status of properties with the new plan and staff replied that some will continue being nonconforming but that efforts are being made to avoid them and that many residential properties currently nonconforming would come into conformity.

Council Member Robinson and Mayor Reed asked about the necessity of disbanding the advisory committee. Staff expressed the desire for expediency and relying on Planning Commission, but stated that the process could move forward with the advisory committee if Council could help clean up the membership roster.

Council Member Alsaadun asked what zoning district student housing would fall in. Staff replied it would depend on how the housing is built, and that it likely would fall in apartment and town home districts, but there would not be a student housing-specific district. Council Member Alsaadun suggested specific zoning for student housing and asked about building heights. Staff said height restrictions aren't planned to change because most applications don't approach upper limits.

Vice Mayor Fleming suggested not sacrificing public participation for efficiency.

Council Member Robinson expressed concerns about transparency and equity in the process, but supported the proposed changes.

Mayor Reed said appointing members to the committee would not ensure diversity and that public engagement would still occur in this process.

Vice Mayor Fleming said that structured engagement would be possible and suggested staff return with a more specific engagement schedule.

Michael Parks, Director of Communications, spoke on how an engagement plan is already underway.

A motion was made by Vice-Mayor Fleming, seconded by Council Member Alsaadun, to endorse staff's recommended approach for the project, disband the Ordinance Advisory Committee and request staff bring a community engagement plan to a future meeting. The motion carried with a recorded roll call vote taken as follows:

Yes: 3 - Mayor Reed, Vice-Mayor Fleming and Council Member Alsaadun

No: 2 - Council Member Dent and Council Member Robinson

7.c. Consider adopting the Fiscal Year 2026-2027 budget and approving the Appropriation Ordinance

Ande Banks, City Manager, provided a brief timeline on how the budget has come before Council in previous meetings and said he and staff were available for any questions.

A motion was made by Council Member Robinson, seconded by Council Member Dent, to adopt the proposed fiscal year 2026-2027 budget and the appropriation ordinance. The motion carried with a recorded roll call vote taken as follows:

Yes: 5 - Mayor Reed, Vice-Mayor Fleming, Council Member Dent, Council Member Alsaadun and Council Member Robinson

No: 0

7.d. Consider nominations for the Virginia Municipal League (VML) Policy Committees 2026

Vice Mayor Fleming indicated he would like to move to the Finance committee, Mayor Reed indicated she would join the Human Development and Education committee, and other members indicated they would remain on current committees.

A motion was made by Vice-Mayor Fleming, seconded by Council Member Dent, to nominate council members to VML policy committees as discussed. The motion carried with a voice vote:

Yes: 5 - Mayor Reed, Vice-Mayor Fleming, Council Member Dent, Council Member Alsaadun and Council Member Robinson

No: 0

8. Other Matters

8.a. Comments from the public, limited to five minutes, on matters not on the regular agenda. (Name and address are required)

Panayotis Giannakouros spoke on procedure used in public comments.

8.b. City Council and Staff

Council Member Alsaadun mentioned that Rocktown High School hosted the 2026 VSBA Valley Region Networking Forum on April 30, 2026; and on May 2, 2026, the Harrisonburg Welcoming Council hosted a Webinar on immigration advocacy.

Council Member Dent mentioned observing small towns making big impacts with environmental issues on recent trip. VAPDC Association meeting to be held on May 13, 2026; and on May 19, 2026, there will be an open house on the Liberty Street project.

Council Member Robinson mentioned that applications are open for African American Festival, and she attended the NAACP meeting on May 5, 2026.

Vice Mayor Fleming mentioned the Virginia Coalition of High Growth Communities meeting in Williamsburg two weeks ago, and that he participated in the Southern Cities Economic Initiative in Atlanta last week.

Mayor Reed mentioned her recovery from hip replacement surgery. She has an upcoming meeting with Attorney General Jones about the impact of Brown v. Board of Education.

9. Adjournment

At 9:53 p.m., May 12, 2026, there being no further business and on motion adopted, the meeting was adjourned.

CITY CLERK

MAYOR



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ID 26-119, **Version:** 1

Subject:

Consider a request from Collicello North LLC to amend the approved master development plan (rezoning) for various addresses on Collicello Street and Kates Lane.

Presented By: Adam Fletcher, Director of Community Development

A request from Collicello North LLC to amend the approved master development plan. The +/- 2.96 acre site is zoned R-7, Medium Density Mixed Residential Planned Community District, is addressed as 919, 925, 955, 959, 963, 967, 975, 983, 991, & 922 Collicello Street and 172, 176, 180, 184, 188, 192, & 196 Kates Lane and are designated as tax map parcels 40-H-1, 11, 17 through 30 & 40-I-16.



May 12, 2026 City Council Meeting

Title

Consider a request to rezone 919, 925, 955, 959, 963, 967, 975, 983, 991, & 922 Collicello Street and 172, 176, 180, 184, 188, 192, & 196 Kates Lane (Collicello North) (Master Plan Amendment) — Planning Commission and Adam Fletcher, Community Development

Summary

Project name	Collicello North
Address/Location	919, 925, 955, 959, 963, 967, 975, 983, 991, & 922 Collicello Street and 172, 176, 180, 184, 188, 192, & 196 Kates Lane
Tax Map Parcels	40-H-1, 11, 17 through 30 & 40-I-16
Total Land Area	+/- 2.96 acres
Property Owner	Collicello North LLC
Owner’s Representative	Cottonwood Commercial, Litten and Sipe, and Propst Family Development LLC
Present Zoning	R-7, Medium Density Mixed Residential Planned Community
Proposed Zoning	R-7, Medium Density Mixed Residential Planned Community (Master Plan Amendment)
Planning Commission	April 8, 2026 (Public Hearing)
City Council	May 12, 2026 (First Reading/Public Hearing) Anticipated May 26, 2026 (Second Reading)

Recommendation

Option 1. Staff and Planning Commission (5-0) recommend approval of the rezoning request.

Context & Analysis

The following land uses are located on and adjacent to the property:

- Site: Vacant building and partially developed property, zoned R-7
- North: Illegal junk yard, commercial use, and presumed nonconforming residential dwelling unit, zoned M-1
- East: Presumed conforming and nonconforming residential dwelling units, zoned M-1 and R-2 and automobile repair shop, zoned M-1
- South: Single-family detached dwellings, and across 5th Street, single-family detached dwelling units, zoned R-2
- West: Across Virginia Avenue, repair shop and non-conforming single-family homes, zoned M-1, and a duplex structure, zoned R-2

Collicello North LLC is requesting to amend the 2013 approved master development plan for a development known as Collicello North. The +/- 2.96-acre site is zoned R-7, Medium Density Mixed Residential Planned Community District is addressed as 919, 925, 955, 959, 963, 967, 975, 983, 991, & 922 Collicello Street and 172, 176, 180, 184, 188, 192, & 196 Kates Lane and are designated as tax map parcels 40-H-1, 11, 17 through 30 & 40-I-16.

This site was rezoned to R-7 in July 2013. The R-7 district is not a conventional zoning district as it requires a master plan. A document titled *What is an R-7 Development? Information Sheet* is attached herein for a reminder as to how R-7 zoning is implemented. If an approved Master Plan is to be modified, a rezoning to amend the Master Plan is required. A copy of the 2013 staff report and 2013 Collicello North Master Plan are attached.

Following the approval of the Collicello North Master Plan, the property owner received approval for variances to the Subdivision Ordinance (SO) Section 10-2-41(a) for right-of-way (ROW) width requirements, dedication of the sidewalk in the public ROW, the centerline radius and curves, curb radii, street K value, and intersection design. Additionally, a variance to SO Section 10-2-42(c) to provide lots without public street frontage was approved. Along with the SO variance requests, the property owner received approval of a preliminary plat that showed how the site would be subdivided. The Final Plat for Phase 1 was approved and recorded in early 2015. That plat included the dedication to public use of the extension of Collicello Street from 5th Street to Virginia Avenue. It also included the division of a portion of the overall property into Lots 1-14, Lot 35, and a Common Area parcel. An engineered comprehensive site plan (ECSP) was approved in 2014 and updated in 2015.

Following the approval of the ECSP, construction of infrastructure to serve a portion of the development began. At this time, some components of the infrastructure have been completed, while others have not. The public water and sewer lines to serve Phase 1 of the development have been completed and have been accepted by the City. Work to construct Collicello Street has not been completed. While not an exhaustive list, the street still lacks areas of sidewalk, curbing, handicap ramping, final surface paving, and final storm drainage work. Though the street right-of-way was dedicated to public use, the City does not assume responsibility for the street until it is complete and then the street is accepted for public maintenance.

Master Plan Amendments

The applicant is now requesting amendments to the approved Master Plan to allow greater flexibility in the final design and implementation of the development. Specifically, the request includes modifications to language related to solar requirements, final building designs, project phasing, the Property Owners' Association declaration, and transit facilities. The applicant has also removed references to previously identified aspirational elements and instead included those items in a new separate document to distinguish between required and optional features.

The 2013 Master Plan was approved for a mix of single-family detached dwellings, townhomes, and one duplex unit. The original Master Plan identified specific building design types. In the updated Master Plan, the applicant is requesting to remove the design types for the dwellings to provide flexibility in the overall construction of the dwelling units.

The original Master Plan required that all dwelling units be constructed with solar panels on each dwelling unit. The applicant is requesting to remove the requirement for solar panel installation and would instead construct all the dwelling units to be solar ready. At the time of construction, home buyers would have the option to have solar panels installed on the units. If a home buyer does not want to install solar panels at the time of purchase, the units would be solar ready if a future owner wanted to install panels.

Additionally, the 2013 Master Plan included a goal of providing a transit stop near the intersection of Collicello Street and 5th Street. At that time, the Department of Public Transportation indicated that such a stop would likely not be supported due to the proximity of an existing stop near 3rd and Collicello Streets. This assessment remains unchanged, and the applicant has removed this element from the Master Plan.

The applicant has also amended the Master Plan to remove the proposed phasing of the project to allow for flexibility of the construction process. Additionally, the Property Owners' Association declaration has been removed from the Master Plan to allow for future modifications by the community, should updates be necessary after project completion. The applicant has also removed Regulation #6 from the Master Plan section Zoning Regulations for Collicello North. Staff supports this removal, as Regulation #5, Table A, and the overall layout provide sufficient guidance for development.

The applicant updated "Table B – Landscaping" within the Master Plan. The approved 2013 Master Plan included a table listing tree types and sizes that may be located within the development. At that time, the Master Plan stated that a more formal landscaping plan would be provided once development plans were finalized. The new proposed language states that a minimum of two large deciduous trees and six smaller deciduous trees will be planted within the development on real property owned or maintained by the Property Owners Association and would be maintained by the Association after the time of planting. The exact locations of these trees are not specified, but they would be planted within the areas shown in brown on the Landscaping Plan on page 5 of the updated Master Plan.

Land Use

The Comprehensive Plan designates this site as Neighborhood Residential and states:

These areas are typically older residential neighborhoods, which contain a mixture of densities and a mixture of housing types, but should have more single-family detached homes than other types of housing. This type of land use highlights those neighborhoods in which existing conditions dictate the need for careful consideration of the types and densities of future residential development. Infill development and redevelopment must be designed so as to be compatible with the desired character of the neighborhood.

Transportation and Traffic

A traffic impact analysis (TIA) was not required for the rezoning request.

Public Water and Sanitary Sewer

Staff has no concerns with the requested rezoning regarding water and sanitary sewer matters.

Housing Study

The City's Comprehensive Housing Assessment and Market Study (Housing Study) places the subject site within Market Type A. Among other things, this Market Type is characterized by high population growth. The study notes that Market Type A has "above median overall access to amenities such as public transit within walking distance, full-service grocery stores, and multiple parks and recreation facilities." The study also notes that "policies that are appropriate to Market type A areas include an emphasis on increasing density through zoning changes, infill development and housing rehabilitation to maintain the quality of housing."

Public Schools

The proposed rezoning and planned subdivision do not change the existing buildable potential of the subject property and thus does not impact the calculated student generation.

Conclusion

Staff believes that the amendments to the Master Plan do not change the overall intent of the approved Master Plan and would allow for flexibility for the final development. Staff recommends approval of the Master Plan amendments.

Options

1. Approve the rezoning request.
2. Deny the rezoning request.

Attachments

- Extract from Planning Commission
- Site maps
- Updated Application and supporting documents
- 2013 staff report for the Collicello North Master Plan
- 2013 Collicello North Approved Master Plan
- *What is an R-7 Development?* Information Sheet



CITY OF HARRISONBURG COMMUNITY DEVELOPMENT

409 SOUTH MAIN STREET, HARRISONBURG, VA 22801
OFFICE (540) 432-7700 • FAX (540) 432-7777

May 04, 2026

**TO THE MEMBERS OF CITY COUNCIL
CITY OF HARRISONBURG, VIRGINIA**

SUBJECT: *Consider a request from Collicello North LLC to amend the approved master development plan (rezoning) for various addresses on Collicello Street and Kates Lane.*

EXTRACT FROM THE DRAFT MINUTES OF HARRISONBURG PLANNING COMMISSION MEETING HELD ON: April 08, 2026

Chair Baugh read the request and asked staff to review.

Ms. Rupkey said Collicello North LLC is requesting to amend the 2013 approved master development plan for a development known as Collicello North. The +/- 2.96-acre site is zoned R-7, Medium Density Mixed Residential Planned Community District, is addressed as 919, 925, 955, 959, 963, 967, 975, 983, 991, & 922 Collicello Street and 172, 176, 180, 184, 188, 192, & 196 Kates Lane and are designated as tax map parcels 40-H-1, 11, 17 through 30 & 40-I-16.

This site was rezoned to R-7 in July 2013. The R-7 district is not a conventional zoning district as it requires a master plan. A document titled *What is an R-7 Development? Information Sheet* is attached herein for a reminder as to how R-7 zoning is implemented. If an approved Master Plan is to be modified, a rezoning to amend the Master Plan is required. A copy of the 2013 staff report and 2013 Collicello North Master Plan are attached.

Following the approval of the Collicello North Master Plan, the property owner received approval for variances to the Subdivision Ordinance (SO) Section 10-2-41(a) for right-of-way (ROW) width requirements, dedication of the sidewalk in the public ROW, the centerline radius and curves, curb radii, street K value, and intersection design. Additionally, a variance to SO Section 10-2-42(c) to provide lots without public street frontage was approved. Along with the SO variance requests, the property owner received approval of a preliminary plat that showed how the site would be subdivided. The Final Plat for Phase 1 was approved and recorded in early 2015. That plat included the dedication to public use of the extension of Collicello Street from 5th Street to Virginia Avenue. It also included the division of a portion of the overall property into Lots 1-14, Lot 35, and a

Common Area parcel. An engineered comprehensive site plan (ECSP) was approved in 2014 and updated in 2015.

Following the approval of the ECSP, construction of infrastructure to serve a portion of the development began. At this time, some components of the infrastructure have been completed, while others have not. The public water and sewer lines to serve Phase 1 of the development have been completed and have been accepted by the City. Work to construct Collicello Street has not been completed. While not an exhaustive list, the street still lacks areas of sidewalk, curbing, handicap ramping, final surface paving, and final storm drainage work. Though the street right-of-way was dedicated to public use, the City does not assume responsibility for the street until it is complete and then the street is accepted for public maintenance.

Master Plan Amendments

The applicant is now requesting amendments to the approved Master Plan to allow greater flexibility in the final design and implementation of the development. Specifically, the request includes modifications to language related to solar requirements, final building designs, project phasing, the Property Owners' Association declaration, and transit facilities. The applicant has also removed references to previously identified aspirational elements and instead included those items in a new separate document to distinguish between required and optional features.

The 2013 Master Plan was approved for a mix of single-family detached dwellings, townhomes, and one duplex unit. The original Master Plan identified specific building design types. In the updated Master Plan, the applicant is requesting to remove the design types for the dwellings to provide flexibility in the overall construction of the dwelling units.

The original Master Plan required that all dwelling units be constructed with solar panels on each dwelling unit. The applicant is requesting to remove the requirement for solar panel installation and would instead construct all the dwelling units to be solar ready. At the time of construction, home buyers would have the option to have solar panels installed on the units. If a home buyer does not want to install solar panels at the time of purchase, the units would be solar ready if a future owner wanted to install panels.

Additionally, the 2013 Master Plan included a goal of providing a transit stop near the intersection of Collicello Street and 5th Street. At that time, the Department of Public Transportation indicated that such a stop would likely not be supported due to the proximity of an existing stop near 3rd and Collicello Streets. This assessment remains unchanged, and the applicant has removed this element from the Master Plan.

The applicant has also amended the Master Plan to remove the proposed phasing of the project to allow for flexibility of the construction process. Additionally, the Property Owners' Association declaration has been removed from the Master Plan to allow for future modifications by the community, should updates be necessary after project completion. The applicant has also removed

Regulation #6 from the Master Plan section Zoning Regulations for Collicello North. Staff supports this removal, as Regulation #5, Table A, and the overall layout provide sufficient guidance for development.

After the Planning Commission agenda was published on April 3, 2026 and prior to tonight's public hearing, the applicant updated "Table B – Landscaping" within the Master Plan. The approved 2013 Master Plan included a table listing tree types and sizes that may be located within the development. At that time, the Master Plan stated that a more formal landscaping plan would be provided once development plans were finalized. The new proposed language states that a minimum of two large deciduous trees and six smaller deciduous trees will be planted within the development on real property owned or maintained by the Property Owners Association and would be maintained by the Association after the time of planting. The exact locations of these trees are not specified, but they would be planted within the areas shown in brown on the Landscaping Plan on page 5 of the updated Master Plan.

Land Use

The Comprehensive Plan designates this site as Neighborhood Residential and states:

These areas are typically older residential neighborhoods, which contain a mixture of densities and a mixture of housing types, but should have more single-family detached homes than other types of housing. This type of land use highlights those neighborhoods in which existing conditions dictate the need for careful consideration of the types and densities of future residential development. Infill development and redevelopment must be designed so as to be compatible with the desired character of the neighborhood.

Transportation and Traffic

A traffic impact analysis (TIA) was not required for the rezoning request.

Public Water and Sanitary Sewer

Staff has no concerns with the requested rezoning regarding water and sanitary sewer matters.

Housing Study

The City's Comprehensive Housing Assessment and Market Study (Housing Study) places the subject site within Market Type A. Among other things, this Market Type is characterized by high population growth. The study notes that Market Type A has "above median overall access to amenities such as public transit within walking distance, full-service grocery stores, and multiple parks and recreation facilities." The study also notes that "policies that are appropriate to Market type A areas include an emphasis on increasing density through zoning changes, infill development and housing rehabilitation to maintain the quality of housing."

Public Schools

The proposed rezoning and planned subdivision do not change the existing buildable potential of the subject property and thus does not impact the calculated student generation.

Conclusion

Staff believes that the amendments to the Master Plan do not change the overall intent of the approved Master Plan and would allow for flexibility for the final development. Staff recommends approval of the Master Plan amendments.

Ms. Rupkey asked if there were any questions for staff.

Councilmember Dent said I think I saw in here somewhere “no clothes lines,”? I think that was in appendix C. Maybe that is an example of the sort of thing that was overly restrictive.

Ms. Rupkey said that was part of their property owner’s association documents that are no longer included. They will have to provide property owner association documents, but they can be amended if they want to.

Chair Baugh asked if there were any more questions for staff. Hearing none, he invited the applicant or applicant’s representative to speak to their request.

Jordan Bowman, Little & Sipe LLP, the applicant’s representative, came forward to speak to the request. He said I want to begin by thanking all of you for being here this evening and compliment your staff. They have been great to work with and have helped guide us through this process and have been extremely professional. I have with me members of our development team Jason Propst, Mattias Clymer, and also representatives of the owner because we are the contract purchaser of this property, Todd Rhea and Manny Fisher. If I cannot answer any of your questions, I am sure one of them can. This plan was approved in 2013 by City Council, and we believe it is a solid core vision. We do not want to change the core vision of what is happening on this site. It is a neighborhood that is a mixture of home types that are moderate in size with a community feel and environmentally friendly aspects. We want to keep that core vision intact and we want to be the ones to realize it. This land has been sitting there for twelve years since it has been approved, and it has not been built out. One of the reasons why is that there are some economic barriers to doing so. There are also some barriers in that the original Master Plan is very detailed inasmuch as it included specific home types and how they would look and exactly how the covenants are going to be. We are here before you asking for a little bit of flexibility. We are asking for some of the requirements, such as the building layouts and some of the environmental requirements, to be relaxed so that we can keep the core vision but we can make it economically viable for us to develop this and bring homes to citizens at a price that they can afford to buy them. I am happy answer more specific questions about that. We would appreciate your consideration. Do you have any questions for me?

Councilmember Dent said I was just slightly disappointed at the letting go of the net zero intention. I understand that solar installation could be an option on purchase rather than have it built up front?

Mr. Bowman said that is correct. I understand the disappointment in that regard. It is not a secret from anyone who is looking at what we proposing that we are relaxing some of the environmental requirements. We believe that part of the vision is that this is an environmentally friendly neighborhood. We are keeping some elements of that, so the buildings are oriented in a way that they are facing south. They are of a moderate size. They are not oversized. We are keeping those elements. We are pre-wiring them, and we are going to make them ready for solar panels to be installed and our intention is to have an installer that is available so that at the time the buildings are built if someone comes forward as a customer wanting to buy one that we can give them an option to have that at the time of purchase. It is not a requirement. If it is someone who wants to buy one of the homes, but is not able to afford the solar, we still would be able to sell it to them.

Councilmember Dent said related to that, is it being built to any energy efficiency standards?

Mr. Bowman said we have not included above and beyond the building code, which has been more and more specific in regard to energy efficiency. We have not included in the Master Plan additional energy efficiency measures. Part of that is the economics of it. Also, it is just a labor-intensive process to come back through the rezoning and not knowing necessarily how quickly it is going to be built out and what materials are going to be available to us. It is not a proffer because it is a Master Plan, but we have not included in the Master Plan specific materials.

Councilmember Dent said I remember when we were building the new Public Works building owned by the City, we opted out of LEED certification because there is a cost to it and an ongoing recertification. However, the Virginia Energy Efficiency Standards (VEES) is what we opted to go with instead because it is essentially the same kind of criteria just for free. That is what I am familiar with it. There is a publicly available set of guidelines for efficiency.

Vice Chair Porter said I would also encourage you to look at some EarthCraft building. There are some fairly economical changes that can be made in your building process that can make these more energy efficient and also better in terms of environmental standards without substantial cost change.

Councilmember Dent said speaking of cost, I recommended the consideration of manufactured homes because there is new legislation working its way through Congress that allows manufactured homes to be built without a chassis, which means they do not have to be trailers and you cannot tell. They say that it can save up to thirty percent of the costs. They would be, by definition I am pretty sure, energy efficient. That is just something to consider as you are working on a development, especially for smaller, economical houses like this.

Mr. Bowman said our intention is make these energy efficient and to make them solar ready and in addition to the materials, to have them oriented in a way that they are efficient and sized in a way that they are efficient. We have not included particular sets of standards in the Master Plan. I am familiar with manufactured homes. I have worked on the Bluestone Town Center project, but the core of the vision for this project I think was that they were going to be standard single-family

homes. We are trying to make the fewest possible changes that we can, to make this a vision that we are able to realize.

Councilmember Dent said a different subject, I went out poking around the site today. There is a definite elevation change. I think it is the hill that kind of goes back behind some of the single \-family houses around the bend of Collicello [Street], and then it is townhomes below that.

Mr. Bowman said that is correct. [Referring to an image on the screen showing the master plan layout.] Are you talking about the bend at the upper portion of that?

Councilmember Dent said the upper part is way down the hill and it seems like the downhill is kind of right behind or even under the upper row of houses within the red, right?

Mr. Bowman said yes ma'am, I think that is correct.

Councilmember Dent said I think I remember these guys saying that there will be something like a multistory. Like the first floor there would be a garage under it. You will work with the topography, I guess.

Mr. Bowman said I think that is correct and Mr. Propst would be better than I at answering specific questions about the building design. If you want to ask those, I would be happy to invite him forward.

Jason Propst, a member of the development team for Collicello North, came forward to speak to the request. He said I think you are referring to the cliff on the backside. The original design that is in the current Master Plan was a house that has a garage and goes up and expands off. The greenspace that is in the middle is part of a community space that we are trying to keep as part of the community feel. We have designed a house that is three stories with a garage underneath and the second story sits right at the level of that. With the old house there is no backyard at all to the house, and it goes directly into that greenspace. We actually designed on that comes up to that level and they will actually have a little bit of a backyard, then connects to that greenspace, just to keep that same feel with the original vision.

Councilmember Dent said the other thing that I was suggesting is to make sure it is ready for EV chargers. Which is easy enough, if you have a garage.

Mr. Propst said absolutely. We have definitely been working with someone on that too.

Chair Baugh asked if there were any more questions for the applicant's representatives. Hearing none, he opened the public hearing and asked if there was anyone in the room or on the phone wishing to speak to the request.

Todd Rhea, a resident of 1141 South Dogwood Drive, came forward to speak to the request. He said I worked with the original developer of this property. Some of you may have known him or remembered him, Dean Weaver. When making this decision, I want to provide the Commission

with a little context as to where we were in 2013 and where we are now. Dean was an urbanist visionary in our community. He worked really hard and brought some of the first R-7 in the City and smaller R-5 projects in the County ten or twelve years ago. We were all learning as we were going, the details in the Master Plan. At the time Collicello North was rezoned and permitted, he was also working on another subdivision called Greenport which is in the County off of Old Reservoir Road close to the hospital which has duplexes, very small detached single-family homes, some townhomes. The first type of the things that we are talking about today in mixed use communities with affordable housing. Greenport was the first project Dean materially completed before passing away during Covid. His family was left with Collicello North, which is now owned by his sister and brother-in-law who do not live locally. We have been working hard to identify a partner to bring the Collicello North vision to the City in a location that is perfectly suited for affordable and workforce housing. We are really pleased with the Propst Family Development team. Their attention, their desire to honor Dean and his vision for this community, and do it in a way that can be practical and not sit there in its current condition which does not serve anyone. This is one of those unique situations where I think context is important when you consider the reasons behind and the rationale for the modest changes to the Master Plan. We wanted to vouch for the applicant and hope that you all give them the consideration and approval of the project. It would be great to see Collicello North infill there in that location. I walk up there all the time, and it is always something that I personally have wanted to see happen and I think we are on the cusp. I thank you all for your consideration this evening.

Margot Zahner, a resident of 910 Collicello Street, came forward to speak to the request. She said I know many of you. It is nice to see you. Thank you for your service to our community. We were encouraged to see the sign about rezoning. I am excited for this project and do want to remember Dean and his vision that he brought. I will say as a homeowner there it has been a long time waiting for something to happen there. Dean made some things really possible for people who were in tenuous housing situations to have housing in the interim. We really appreciated working with him for that. Both my husband and I want to make sure that as we are thinking about this development, which will really directly impact us, it is done in a way with good communication. I want to just say that I am a little surprised as the only homeowner there that we have not had any contact. So, I want to welcome that and encourage that because it feels bad to call Meg and ask, "what is going on?" We had reached out to Manny a couple of times, and in that I wanted to say publicly we are eager to work together. We believe in infill. We believe in working and building community, but I want to issue an invitation and also express sort of surprise. I am excited to have this happen and hopeful that the way it can be done is with high quality building in a way that would help our community. Thank you.

Tom Benevento, a resident of 910 Collicello Street, came forward to speak to the request. He said it is also nice to see many of you I know as well. Thanks again for your work here. We have been wondering what has been happening for a number of years on that property. I think the couple of

things that I would just want to check in about is the quality of the buildings, if they are not going to be at the standard of energy efficiency, which also lends itself to making sure the houses are well built. I do want to caution anything that... I know there is a need to get in economically to build, but I also want to make sure they are houses that will last. Not like with student housing for a little while, and they get kind of beat up and then they turn into something else. I would like to make sure that the quality of the construction... I think that energy efficiency is critical in designing in this day and age that we have and they will last longer if that is done. I appreciate that you cannot just put solar on it right away, but making it solar ready and orienting them south is really wise. I appreciate that thoughtfulness. I think its vision that Dean has had, which is really appreciated over a number of years working with him, is to make it more of a greenspace. I would recommend that the number of trees in that site. *t would be nice to keep it looking green and not just urban and asphalt-y but to really consider that within this. The last question I have is about the main brick house there. I am not sure there has been any conversation about that. I know Dean had a vision around that as being sort of a community space in and of itself a place where you could receive guests or have a workout place or a coffee shop or something like that. I know that house has been getting more and more deteriorated over the years. I have not really heard what that is about, so I am kind of curious how that fits into this whole thing. I do appreciate the smaller sized housing and trying to get more people in town. Thank you.

Councilmember Dent said come to think of it, I meant to ask about that too the plans for the brick building that is there. Does it plan to be refurbished?

Chair Baugh said we have talked about it some on the site visit yesterday. Does anyone want to come up and speak about the plans for the existing brick residence on the property?

Mr. Bowman said I will do my best to answer that question and invite Mr. Propst to correct me if anything I say is wrong. With respect to the existing building that is there on the site nothing that we are proposing changes the original vision. Currently, I believe the historical use of that is a residence. I think the intent would be to come in and potentially fix it up and use it as a residential use for a while, while the development is getting built out. The long-term vision for that property in this Master Plan, I believe, is that it could be residential or potentially mixed use. The idea that a coffee shop or some mixed-use component could come in there is not something that we are changing. Our intent is to come in and make improvements to that structure.

Vice Chair Porter said the intent is to sell these units correct? These are not meant to be rental units?

Mr. Bowman said correct, they are not intended to be rental units.

Chair Baugh said thank you for that clarification. It is before us for further consideration.

Commissioner Seitz said I would like to make a few comments. I am thrilled to see this project moving ahead. Dean was a close friend, long before we ever became business colleagues. The stipulated designs that you are eliminating were done by my firm, and I am thrilled because I think that is key to making it move ahead. I really appreciate the fact that you have kept the essence of what he was trying to do intact. It has been hard to see that project sit fallow for all of these years. Just for clarification, any business relationship I had with Dean terminated when he passed away. I do not have any skin in this game at all. It was indeed a visionary project in 2012/2013 as it came into passing. It still is. I think the mere fact of creating dense, moderately sized housing is environmentally impactful. I would love to see the solar and hope people avail themselves of that solar readiness. I think there is more to be gained for moving ahead than it is regretting the loss of certain aspects of it. We were also the architects for many of the projects at Greenport. There was a constant struggle with Dean between these aspirations and what the market would bear. Any realtor that ever worked with Dean would also understand that intensely. Thank you and Mr. Rhea. Please pass along to the Kin Group my appreciation for this.

Councilmember Dent said I would like to make a motion to approve the request to rezone the various addresses at Collicello [Street] and Kates Lane as presented by staff.

Commissioner Seitz seconded the motion.

Commissioner Kettler said there seems to be quite a lot of memory in this room associated with this particular project and this particular land. As someone who is looking at it for the first time and has never really considered it before, I do not know if I have ever seen a single-family housing development that I have liked more than this one as proposal and by a significant margin. In terms of its design and how it approaches the size of the developments and their relationship to each other and its emphasis on a shared green space and walking between them. I am really impressed by it.

Vice Chair Porter said I would only add that this is greatly in the community's interest to have this built. This property has sat fallow for a long time. It is a wonderful thing to see this move forward. I could not be happier with the fact that this is the direction that you are heading. This is a very good thing for our community, and I am excited that this build is going to be occurring.

Chair Baugh said, as somebody who was around in 2013, I liked this project then. While we have heard from the development side about how then it was the early days of R-7, and a lot of working our way through it. I did not work with Dean as a colleague, but worked with him as an elected official who was consulted about this development as it was in pipeline. Like some, I have been disappointed that it is in many respects has been sitting there this time. I will say as somebody who was around when we created R-7, we wished there would have been more of this. I agree with

Commissioner Kettler, I am glad that your new look agrees with my old look. I will also just note, briefly, when we took this up before my recollection was that we had considerably more than two people who lived close by show up at the public hearing. A fair number of them were opposed to it. I think for whatever reason maybe the time and the fact that it sat there, but it was a lot of not unusual stuff of because it is easy to forget now that Collicello [Street] dead ended at that property. The road did not even go through and there was a lot of not unusual concern about “now the traffic is going to be coming through.” Of course, there will be more traffic once you develop it. I am not even sure it was a unanimous vote. It may not have been, but it did get approved. I just have to do a brief shoutout Mr. Benevento, I was thinking about you last month when we were sitting here considering a different project. I almost called you out because I recalled your presentation to Council on the unrelated topic of how we deal with automobiles going into the future. In yet another development found that one of the core issues for a lot of people was this sense that new development has to accommodate all of the worst case scenarios that you can imagine for vehicular traffic. The notion that coming up with something that actually maybe gives people alternatives somehow is going to be a disaster. Needless to say, I was not on that side of the argument. I talked enough, so one of the things I have considered saying, and edited out, was a specific reference to your presentation. I do remember saying as a council member, I anticipated bringing that up again many times. I hope that my colleagues on Council would remember, the first thing you have to do is build out the infrastructure to accommodate the vehicles for everybody that is going to live there, and not in any way, shape or form annoy anybody who might possibly live by or drive by, then you are going to be working considerably at cross purposes to a lot of things you want to achieve.

Commissioner Kettler said I do not mean to belabor that point, but I would really like to see that presentation if you let me know when that happened.

Chair Baugh said it would have been in September or October of 2022.

Vice Chair Porter said I think the requests are reasonable. I do understand the need for getting some affordability for you all to be able to move forward. I think that flexibility is important and the things that you are asking I think are extremely reasonable.

Councilmember Dent said I will agree even though I was going “yay solar” that they have the option to put it in when it is built means that anyone who can afford that or wants to put it on can have that option. They are going to be the owners of it. It makes sense.

Chair Baugh called for a roll call vote.

Commissioner Seitz	Aye
Councilmember Dent	Aye
Commissioner Kettler	Aye

Vice Chair Porter Aye
Chair Baugh Aye

The motion to recommend approval of the Master Plan amendment passed (5-0). The recommendation will move forward to City Council on May 12, 2026.



**CITY OF HARRISONBURG
COMMUNITY
DEVELOPMENT**

**Change of Zoning District
(Rezoning) Application**
www.harrisonburgva.gov/zoning

PROPERTY INFORMATION

Property Address: 919 Colicello St Tax Map Parcel/ID: 04 H1 H17-30 Total Land Area: 2.96 ~~AC~~ acres or sq.ft. (circle)
Existing Zoning District: R7 Proposed Zoning District: R7
Existing Comprehensive Plan Designation: _____

PROPERTY OWNER INFORMATION

Property Owner Name: Kin Group LLC - Colicello North LLC Telephone: [REDACTED]
Street Address: 6322 Acker Ln - 649 Idlewild Dr E-Mail: [REDACTED]
Fort Lauderdale
City: Livville VA FL State: VA Zip: 22834

OWNER'S REPRESENTATIVE INFORMATION

Owner's Representative: Manny Fisher - Cottonwood Commercial Telephone: [REDACTED]
Street Address: 1962 Evelyn Byrd Avenue E-Mail: [REDACTED]
City: Harrisonburg State: VA Zip: 22801

CERTIFICATION

I certify that the information supplied on this application and on the attachments provided (maps and other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of the City of Harrisonburg to enter the above property for the purposes of processing and reviewing this application. I also understand that, when required, public notice signs will be posted by the City on any property.

See next sheet

PROPERTY OWNER _____

DATE _____

REQUIRED ATTACHMENTS

- Letter explaining proposed use & reasons for seeking change in zoning.
- Statement on proffers, if applying for conditional rezoning.
- Survey of property or site map.
- Traffic Impact Analysis (TIA) Determination Form OR Traffic Impact Analysis (TIA) Acceptance Letter signed by Public Works Department. Applicant is responsible for coordinating with Public Works prior to submitting this application. For more information, visit www.harrisonburgva.gov/traffic-impact-analysis.

TO BE COMPLETED BY PLANNING & ZONING DIVISION

Date Application and Fee Received: 3/5/2026 Total Fees Due: \$ 610 (Paid)
Received By: Meg Rupkey Application Fee: \$550.00 + \$30.00 per acre



City of HARRISONBURG
COMMUNITY
DEVELOPMENT

Change of Zoning District
(Rezoning) Application
www.harrisonburgva.gov/zoning

PROPERTY INFORMATION	
Property Address: 519 Calicello St	Tax Map Parcel ID: 04 H1 H17-30 2.96 AC (Acres or sq. ft. (Acre))
Existing Zoning District: R7	Proposed Zoning District: R7
Existing Comprehensive Plan Designation:	
PROPERTY OWNER INFORMATION	
Property Owner Name: Kim Gowell - Calicello North LLC	[Redacted]
Street Address: 6322 Acker Ln - 649 Idlewild Dr	[Redacted]
City: Louisville KY	State: KY
Zip: 40234	[Redacted]
OWNER'S REPRESENTATIVE INFORMATION	
Owner's Representative: Manny Fisher - Cottonwood Commercial	[Redacted]
Street Address: 1958 Evelyn Byrd Avenue	[Redacted]
City: Harrisonburg	State: VA
Zip: 22801	[Redacted]
CERTIFICATION	
I certify that the information supplied on this application and on the attachment(s) provided (maps and other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of the City of Harrisonburg to enter the above property for the purposes of processing and reviewing this application. I also understand that, when required, public notice signs will be posted on the City-owned property.	
PROPERTY OWNER:	DATE: 3/4/26
REQUIRED ATTACHMENTS	
<input type="checkbox"/> Letter explaining proposed use & reasons for seeking change in zoning. <input type="checkbox"/> Statement on profiles, if applying for conditional rezoning. <input type="checkbox"/> Survey of property or site map. <input type="checkbox"/> Traffic Impact Analysis (TIAS) Determination Form OR Traffic Impact Analysis (TIA) Acceptance Letter signed by Public Works Department. Applicant is responsible for coordinating with Public Works prior to submitting this application. For more information, visit www.harrisonburgva.gov/traffic-impact-analysis .	
TO BE COMPLETED BY PLANNING & ZONING DIVISION	
Date Application and Fee Received:	Total Fee Due \$: Application Fee: \$550.00 + \$30.00 per acre
Received By:	

Thanks,
Manny Fisher, Commercial Realtor
Cottonwood Commercial
1958 Evelyn Byrd Avenue
Harrisonburg, VA 22801

www.Cottonwood.com
Facebook: Manny Fisher

On Mar 4, 2026, at 4:51 PM, Al Thomas [Redacted] wrote:

[Quoted text hidden]

JORDAN K. BOWMAN

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(540) 437-3058

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March 31, 2026

Via Hand-Delivery

Attention: Thanh Dang, Deputy Director
Department of Community Development
City of Harrisonburg, Virginia
409 South Main Street
Harrisonburg, Virginia 22801

Re: Application to Amend R-7 Master Plan

Dear Ms. Dang:

Our firm represents Propst Family Development, LLC which has entered into a contract with Collicello North, LLC for the potential aspect of the Collicello North development (the “Development”), which is a permitted R-7 development with a Master Plan approved by the City Council on July 23, 2013. The Development features a mixture single-family homes and townhomes in a New-Urbanism, community-centered design.

Certain permitting steps toward construction of the Development have been completed, including (i) City approval of a site plan, (ii) approval of a preliminary subdivision plat, (iii) subdivision of portions of the Development, (iv) approval of subdivision variances to as contemplated by the Master Plan, and (v) recordation of covenants for the Development.

However, for construction of the Development to proceed, Propst Family Development, LLC has applied for certain Proposed Amendments to the Master Plan. The intent of the Proposed Amendments is to keep the core vision of the original Development, described on the enclosed “Collicello North Vision” document¹, but to adjust and update some details to enable the houses within the Development to be constructed at a product and price-point that meets market demand for housing within Harrisonburg and is economically viable, both for the developer and for the homeowners.

The following is a summary of the main proposed amendments to the Master Plan:

- Language regarding NetZero energy efficiency is modified to provide that although the houses will be constructed with certain energy-efficient features, including features that make the houses ready for the installation of solar panels, that the actual installation of solar panels will be optional for the homeowners. This amendment enables the developer to construct the housing at a price-point that is more affordable, while still making

¹ This language has been removed from the Master Plan at the suggestion of City Staff, but is being provided here for informational purposes as it is still relevant to the Project.

installation solar a viable option for homeowners, either at the time of purchase or at some time thereafter.

- Appendix A, Conceptual elevations and renderings, are removed from the Master Plan to provide for flexibility in construction and over time.
- Phasing is eliminated, to provide flexibility to adapt construction to market demands.
- Appendix C is removed, and language regarding the Property Owners' Association declaration is simplified to provide flexibility for changes, from time to time, except that language regarding public and private easements shall not materially change without permission from the City Zoning Administrator.

Please let me know if you have any questions or would like more information regarding these proposed amendments.

Cordially,

Jordan Bowman

Jordan K. Bowman
JKB
Enclosure – Vision Document

Collicello North Vision

I. Introduction

The following information comprises the Vision for Collicello North and the zoning regulations for development.

Vision

The Vision conveys the philosophy behind the conception and intent of Collicello North.

Zoning Regulations

The zoning regulations as identified in this section and Master Plan Layout (described below) define the myriad of regulations necessary to bring the Collicello North Vision to fruition.

Master Plan Layout

The Master Plan Layout (the “Layout”) is a graphic depiction of the Zoning Regulation sections, but the Layout is a governing detail of the Collicello North development, generally depicting where roads, buildings, sidewalks, landscaping, grading, and utilities will be provided.²

II. Vision

Collicello North is designed to be a community aligned with the purpose of the R-7 district and based on the 7 New Urbanism Principles:

- 1) The basic building block of a community is the neighborhood.
- 2) The neighborhood is limited in physical size, with well-defined edges and center.
- 3) Corridors form the boundaries between neighborhoods, both connecting and defining the neighborhoods.
- 4) Human scale sets the standard for proportion for buildings. Buildings must be disciplined in how they relate to their lots if public space is to be successfully demarcated.
- 5) Treating a range of transportation options as important is fundamental.
- 6) The street pattern is conceived as a network to create the greatest number of alternative routes from one part of the neighborhood to another.
- 7) Civic buildings belong on preferred sites such as squares and neighborhood centers.

General Intentions of Housing and Neighborhood

The houses of Collicello North are intended to be energy efficient and solar-ready. This means that at the core of each house will be the principles of design that are sustainable and efficient in practice, balanced against the goal of providing houses that are reasonably affordable. The houses are oriented to welcome the southern exposure, providing protection from the north while providing sufficiently sized and oriented roof space for solar and photo-voltaic arrays.

Weaving private areas and public areas into useable and inviting space is a challenge within urban planning. The R-7 asks for clustered groupings of living units to allow for open space. This is much

² Some utilities are identified on the Master Plan Layout as “proposed”,

easier to do when using a multi-family housing concept but is more difficult within a single-family model. Adding to the design challenges is the need to account for the demands of sustainable living. Through quality design, Collicello North has incorporated a zero-lot-line setback concept to create private outdoor living area, which also serves as the spacing between buildings to allow for access to the southern sky. The master plan will allow for multi-family development within the area delineated for mixed used. If such units are developed, these units will be integrated and made compatible with Collicello North's other residential units through the use of good site planning, common architectural themes and landscaping.

Collicello North will also incorporate a bicycle and pedestrian path. The purpose of this approximately 150' long and six (6) feet wide paved strip is to connect the upper streets with the lower access private road that leads to Edom Road. This connector has further significance as the developers of Collicello North would like to help connect this neighborhood to the planned Northend Greenway. Increasing the accessibility to the greater community while minimizing residence reliance on automobiles by creating and encouraging alternative transportation options, is a major component in Collicello North's New Urban Principles and emphasizes on sustainability.

The vision is for Collicello North to uniquely apply the attributes of the R-7 zoning in such a way that allows for the principles of New Urbanism, traditional neighborhood and sustainable design, to serve our community long into the future.

COLLICELLO NORTH

MASTER PLAN

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I. Zoning Regulations

Tables

Table A - Types, quantities, setbacks, etc. (included within the text of the Zoning Regulations)

Table B - General Landscape Plan

Appendices

Appendix A - Master Plan Layout

Collicello North

I. Zoning Regulations for Collicello North

Lot area, width, and depth, and setbacks for all buildings are stated in Table A.

TABLE A

LOT TYPE ¹	#of units	LOT SIZE (MIN.SF)	LOT DEPTH (MIN)	LOT WIDTH (MIN)	SETBACK
A- single family	7	2000'	70'	30'	0'
B- single family	7	1600'	50'	30'	0'
C -single family	3	1600'	45'	30'	0'
D-town home	6	700'	35'	19'	0'
E-town home	6	900'	40'	19'	0'
F-town home	6	700'	35'	19'	0'
Multi-Family	as permitted by density	no minimum	no minimum	no minimum	0'
Non-Residential	N/A	No minimum or maximum other than as required by the R-7 zoning regulations.	no minimum	no minimum	0'

* Any residential building type may be developed in conjunction with the mixed-use area or areas later added to the Master Plan

**If the existing single family structure within the mixed-use area is used as a detached single family home there shall be no minimum lot size, lot depth or lot width requirements and it shall have zero setbacks.

The Master Plan Layout illustrates the general arrangement and location of buildings and where residential unit types will be located. The application of typical requirements of the City's Zoning Ordinance Article T and other regulations for this development are specified below.

1. No provisions of the City's Zoning Ordinance Article T shall apply, however matters normally regulated by Article T are otherwise regulated as indicated below.
 - Patios, courtyards, terraces, porches and other similar features may have zero setbacks along all property lines.
 - Section 10-3-111 Height shall be applicable.
 - Accessory buildings shall be held to the same setbacks required of principal buildings and as afforded by the provisions of the H.O.A.
2. Walls and fences, beams and similar items which may restrict passage or vision or simply enhance private property shall not exceed 8', and may be located with a zero setback as afforded by the provisions of the H.O.A. except as restricted by needed sight lines for traffic.
3. In the event that residential dwellings utilize garage space to meet minimum required parking requirements, such space shall not be converted to livable space.

¹ A prior version of this Master Plan included specific building types. With this revision to the Master Plan, there is no inclusion of specific building types. However, the dimensions for these lot types as shown on this table still apply.

4. Any community building (i.e. pavilion) and any future amenities for the green/open space can be constructed in common areas with zero setbacks and as afforded by the provisions of the H.O.A.
5. A mixed-use area has been designated at the corner of 5th and Collicello Streets (See the Master Plan Layout in Appendix A). This area will include any of the following uses: Non-Residential as permitted by the district, Multi-Family Units, and/or any of the residential unit types listed in Table A or the existing single family detached structure. The existing structure will be maintained as is or either renovated with new construction added or will be demolished and new building(s) constructed. Lot and dimensional requirements for such uses is governed by Table A.
6. A property owners association (“HOA”) will be created to own and maintain common areas, easements, and improvements thereon. A Declaration of Covenants, Conditions, and Restrictions (the “Declaration”) will be recorded that will serve as the governing document for the HOA. The terms of the actual Declaration may be amended from time to time during the existence of the Project, provided that the public and private easements shall not be materially altered except upon permission in writing from the City Zoning Administrator.
7. Each home will be constructed to be solar-ready, including reserved breaker space in the main panel, conduit run from attic to electrical room, conduit stubbed toward the meter location, roof structural consideration for future attachment, and wall space allocated for inverter or battery.

Streets and Parking

The location of streets, access to parking areas, and sidewalks shall be constructed in the areas generally shown on the Master Plan Layout. The private road entrance for Collicello North off of Edom Road may be shared with tax map 40-I-6.

A variance to the Subdivision Ordinance for the design of streets, alleys, blocks, easements, sidewalks, and all such related features along with allowing lots to not have public street frontage shall be applied for during the preliminary platting of this development.

The variance is needed so the preliminary plat and final plat can be adopted in accordance to the Master Plan Layout.

Landscaping within the public and private street rights-of-ways will be maintained by the Collicello North Home Owners Association.

Bicycle and Pedestrian Path

As indicated on the Master Plan Layout, a bicycle and pedestrian path will be constructed in the general located shown along the west end of the Lower Green and Type D² lots and will continue north between the Type F & E lots. If this path cannot be accommodated in this general location, a different location may be provided within the development to provide the same connection intent as described in the Vision.

² See footnote 1.

TABLE B

General Landscape Plan

Landscaping will, at a minimum, include the following vegetation, which will be planted within the on real property owned or maintained by the HOA and maintained by the HOA thereafter, within the shaded areas outlined on the below Landscaping Plan (Table B):

- At least two large deciduous trees that are at least two (2) inches in caliper at the time of planting and a minimum of ten (10) feet in height at the time of planting; and
- At least six smaller deciduous trees that are at least one (1) inch in caliper at the time of planting, and which are of a species that typically reaches a height at maturity of at least fifteen (15) feet.

The foregoing tree requirements shall not be construed to prevent the developer from planting additional landscaping in other areas of the development.



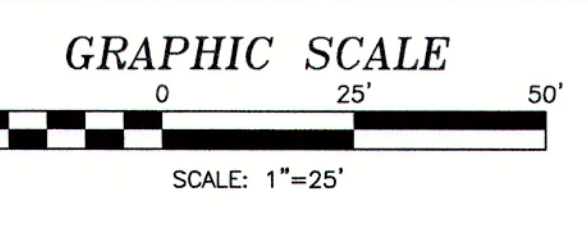
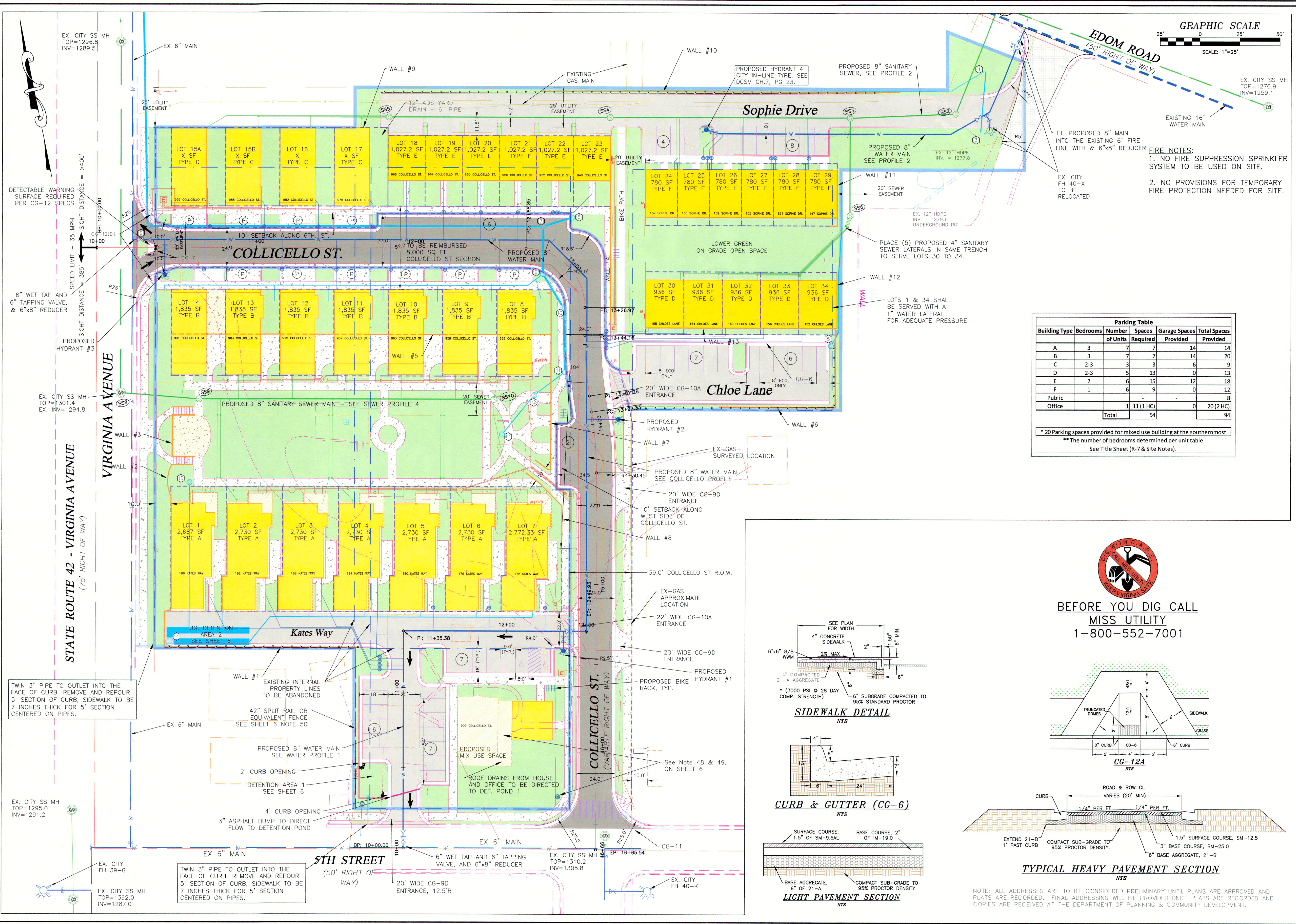
Appendix A Master Plan Layout

Sec. 10-3-111. - Height.

The height regulations heretofore established will be adjusted in the following cases:

- (1) The height limitations of this chapter shall not apply to the architectural features such as chimneys, spires, etc., and necessary accessory structures such as water towers, smokestacks and conveyors which are incidental to uses permitted in nonresidential districts.
- (2) The limitations on the number of stories shall not comply to buildings and structures not intended for human occupancy, but heights shall be governed by technical and environmental standards.

(Ord. of 4-23-96)

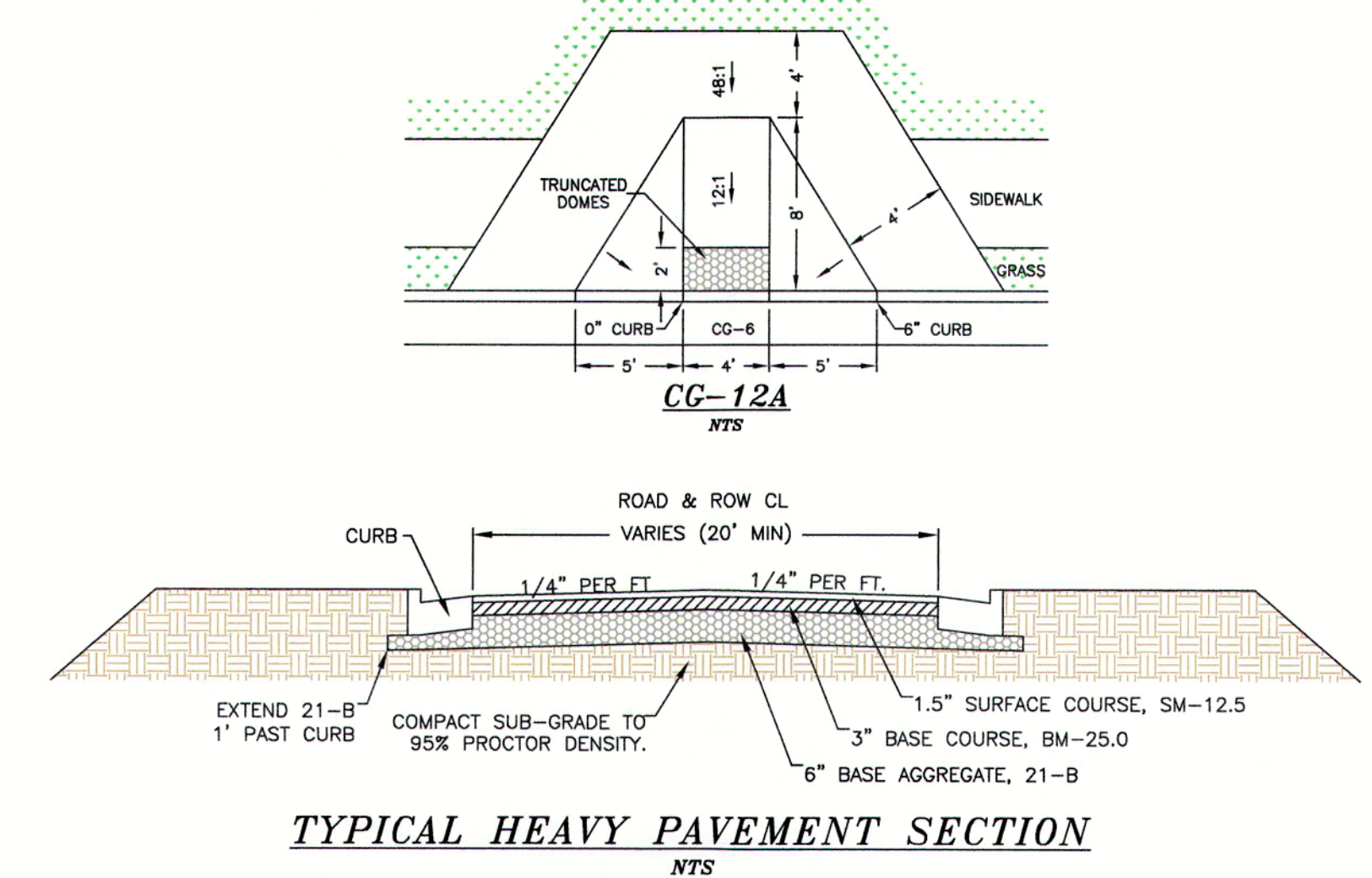
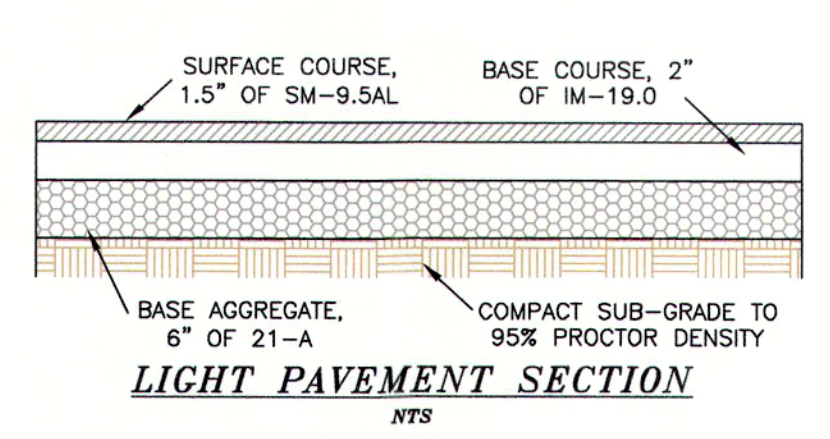
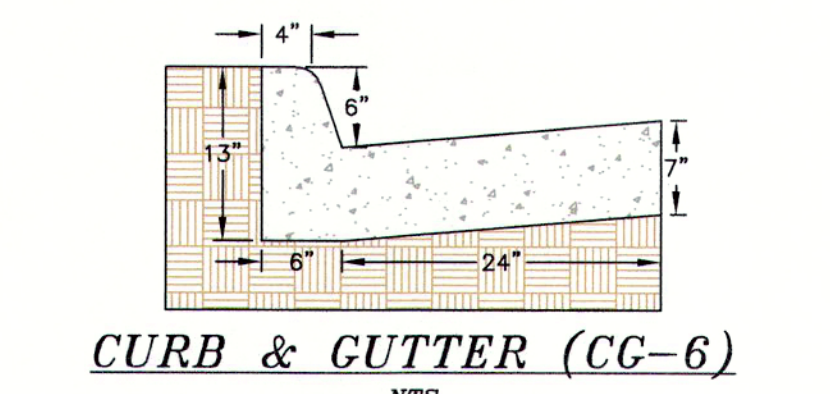
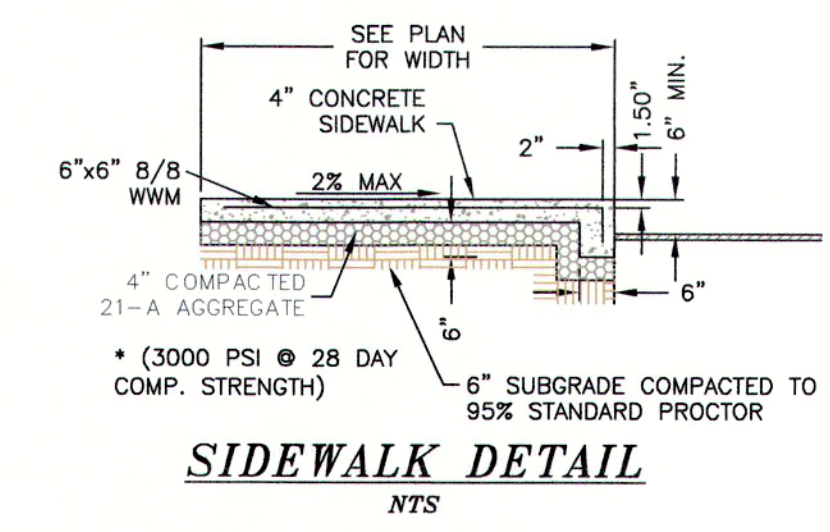


FIRE NOTES:
 1. NO FIRE SUPPRESSION SPRINKLER SYSTEM TO BE USED ON SITE.
 2. NO PROVISIONS FOR TEMPORARY FIRE PROTECTION NEEDED FOR SITE.

Building Type	Bedrooms	Number of Units		Garage Spaces		Total Spaces	
		Required	Provided	Required	Provided	Required	Provided
A	3	7	7	14	14	21	21
B	3	7	7	14	14	21	21
C	2-3	3	3	6	6	9	9
D	2-3	5	13	0	13	18	18
E	2	6	15	12	18	18	18
F	1	6	9	0	12	12	12
Public Office		1	11 (1HC)	0	20 (2HC)	21	31
Total			54		94		148

* 20 Parking spaces provided for mixed use building at the southernmost
 ** The number of bedrooms determined per unit table
 See Title Sheet (R-7 & Site Notes).

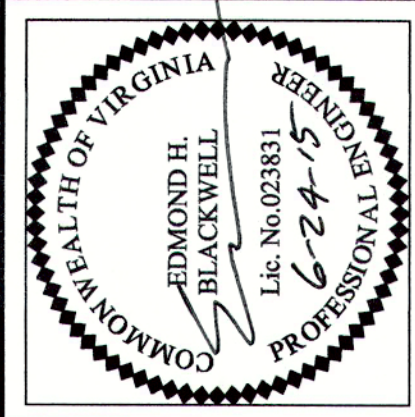
**BEFORE YOU DIG CALL
 MISS UTILITY
 1-800-552-7001**



NOTE: ALL ADDRESSES ARE TO BE CONSIDERED PRELIMINARY UNTIL PLANS ARE APPROVED AND PLATS ARE RECORDED. FINAL ADDRESSING WILL BE PROVIDED ONCE PLATS ARE RECORDED AND COPIES ARE RECEIVED AT THE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT.

Date: NOV 2013
 Scale: AS SHOWN
 Designed by: EHB
 Drawn by: JRC/PBR
 Checked by: EHB

BLACKWELL ENGINEERING, PLC
 566 East Market Street
 Harrisonburg, Virginia 22801
 PHONE: (540)432-9555 FAX: (540)434-7604
 E-Mail: BE@BlackwellEngineering.com



Revision Dates
 3. 07/22/14 CITY COMMENTS
 4. 08/28/14 CITY COMMENTS
 5. 10/22/14 CITY COMMENTS
 6. 04/29/15 ADDENDUM #1

MASTER PLAN
 COLLICELLO NORTH
 KIN GROUP, LLC
 5782 GREENHILL ROAD
 LINVILLE, VA 22834

Drawing No.
2
 of 8 Sheets

Job No. 2266

COLICELLO NORTH

MASTER PLAN

Kin-Group, LLC
6322 Acker Lane
Linville, VA 22834

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~~I. Introduction~~

~~II. Vision~~

III. Zoning Regulations

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Table A - Types, quantities, setbacks, etc. (included within the text of the Zoning Regulations)

Table B - General Landscape Plan

Appendices

~~Appendix A - Conceptual elevations and renderings~~

~~Appendix AB - Phasing, Proposed Public Street Right Of Way, Parking and Common areas Master Plan Layout~~

~~Appendix C - Property Owners' Association Covenants, Conditions, and Rights~~

Collicello North

I. Introduction

The following information comprises the Vision for Collicello North and the zoning regulations for development.

Vision

The Vision conveys the philosophy behind the conception and intent of Collicello North.

Zoning Regulations

The zoning regulations as identified in this section and Master Plan layout (described below) define the myriad of regulations necessary to bring the Collicello North Vision to fruition.

Master Plan Layout

The Master Plan layout is a graphic depiction of the Zoning Regulation sections, but the layout is a governing detail of the Collicello North development generally depicting where roads, buildings, sidewalks, landscaping, grading, and utilities will be provided.

II. Vision

Collicello North is designed to be a NetZero Ready Community aligned with the purpose of the R-7 district and based on the 7 New Urbanism Principles:

- 1) The basic building block of a community is the neighborhood.
- 2) The neighborhood is limited in physical size, with well defined edges and center. Corridors form the boundaries between neighborhoods, both connecting and defining the neighborhoods.
- 3) Human scale sets the standard for proportion for buildings. Buildings must be disciplined in how they relate to their lots if public space is to be successfully demarcated.
- 3) Treating a range of transportation options as important is fundamental.
- 3) The street pattern is conceived as a network to create the greatest number of alternative routes from one part of the neighborhood to another.
- 3) Civic buildings belong on preferred sites such as squares and neighborhood centers.

Every detail of Collicello North is designed to facilitate the manifestation of these principles and concepts into the fabric of a vibrant traditional neighborhood that is connected to greater Harrisonburg. Collicello North does not wish to define itself as its own community, but rather as a neighborhood among neighborhoods within the Harrisonburg community.

General Intentions of Housing and Neighborhood

The houses of Collicello North are intended to be NetZero Ready. This means that at the core of each house will be the principles of design that are the most sustainable and the most efficient in practice. First, and most importantly, the houses are not oversized, averaging around 1300 sf. Secondly, the downsized houses are oriented to welcome the southern exposure, providing protection from the north while providing sufficiently sized and oriented roof space for solar and photo voltaic arrays. Thirdly, each home is constructed with an exceptionally tight and efficient shell. These three concepts combined with the use of quality products, excellent craftsmanship and a "house as a system" approach to design, allow the houses of Collicello North to achieve a NetZero capability; producing as much energy as they use.

Weaving private areas and public areas into useable and inviting space is a challenge within urban planning. The R-7 asks for clustered groupings of living units to allow for open space. This is much easier to do when using a multi family housing concept but is more difficult within a single family model. Adding to the design challenges is the need to account for the demands of sustainable living. Through quality design, Collicello North has incorporated a zero lot line setback concept to create private outdoor living area, which also serves as the spacing between buildings to allow for access to the southern sky. Appendix A Illustrates elevation conceptual renderings of the single family buildings. Although no renderings have been sketched, the master plan will allow for multi family development within the area delineated for mixed used. If such units are developed, these units will be integrated and made compatible with Collicello North's other residential units through the use of good site planning, common architectural themes and landscaping.

Collicello North will also try to incorporate a bicycle and pedestrian path. The purpose of this approximately 150' long and six (6) feet wide paved strip is to connect the upper streets with the lower access private road that leads to Edom Road. This connector has further significance as the developers of Collicello North would like to help connect this neighborhood to the planned Northend Greenway. Increasing the accessibility to the greater community while minimizing residence reliance on automobiles by creating and encouraging alternative transportation options, is a major component in Collicello North's New Urban Principles and emphases on sustainability.

The vision is for Collicello North to uniquely apply the attributes of the R-7 zoning in such a way that allows for the principles of New Urbanism, traditional neighborhood and sustainable design, to serve our community long into the future.

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III.1. Zoning Regulations for Collicello North

Lot area, width, and depth, and setbacks for all buildings are stated in Table A.

TABLE A

BUILDING LOT TYPE ¹	#of units	LOT SIZE (MIN.SF)	LOT DEPTH (MIN)	LOT WIDTH (MIN)	SETBACK
A- single family	7	2000'	70'	30'	0'
B B - single family	7	1600'	50'	30'	0'
C- single family	3	1600'	45'	30'	0'
D D -town home	6	700'	35'	19'	0'
E-town home	6	900'	40'	19'	0'
F-town home	6	700'	35'	19'	0'
Multi-Family	as permitted by density	no minimum	no minimum	no minimum	0'
Non-Residential	N/A	No minimum or maximum other than as required by the R-7 zoning regulations.	no minimum	no minimum	0'

• Any residential building type may be developed in conjunction with the mixed-use area or areas later added to the Master Plan

****One duplex on lot 13 & 14 (Type B units)**

***If the existing single family structure within the mixed-use area is used as a detached single family home there shall be no minimum lot size, lot depth or lot width requirements and it shall have zero setbacks.

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The Master Plan Layout illustrates the general arrangement and location of buildings and where residential unit types will be located. The application of typical requirements of the City's Zoning Ordinance Article T and other regulations for this development are specified below.

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1. No provisions of the City's Zoning Ordinance Article T shall apply, however matters normally regulated by Article T are otherwise regulated as indicated below.

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- Patios, courtyards, terraces, porches and other similar features may have zero setbacks along all property lines.
- Section 10-3-111 Height shall be applicable.
- Accessory buildings shall be held to the same setbacks required of principal buildings and as afforded by the provisions of the H.O.A.

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2. Walls and fences, beams and similar items which may restrict passage or vision or simply enhance private property shall not exceed 8' and may be located with a zero setback as afforded by the provisions of the H.O.A. except as restricted by needed sight lines for traffic.

3. In the event that residential dwellings utilize garage space to meet minimum required parking requirements, such space shall not be converted to livable space.

¹ A prior version of this Master Plan included specific building types. With this revision to the Master Plan, there is no inclusion of specific building types. However, the dimensions for these lot types as shown on this table still apply.

4. Any community building (i.e. pavilion) and any future amenities for the green/open space can be constructed in common areas with zero setbacks and as afforded by the provisions of the H.O.A.
 5. A mixed-use area has been designated at the corner of 5th and Collicello Streets (See [the Master Plan Layout](#) in Appendix B). This area will include any of the following uses: Non-Residential as permitted by the district, Multi-Family Units, and/or any of the residential unit types listed in Table A or the existing single family detached structure. The existing structure will be maintained as is or either renovated with new construction added or will be demolished and new building(s) constructed. Lot and dimensional requirements for such uses is governed by Table A.
 6. ~~Although the master plan layout illustrates 35 residential units, given the intent of #5 as noted above, the total number and type of dwelling units will ultimately be determined by the finalized total square footage of the master planned R-7-A property owners association ("HOA") will be created to own and maintain common areas, easements, and improvements thereon. A Declaration of Covenants, Conditions, and Restrictions (the "Declaration") will be recorded that will serve as the governing document for the HOA. The terms of the actual Declaration may be amended from time to time during the existence of the Project, provided that the public and private easements shall not be materially altered except upon permission in writing from the City Zoning Administrator.~~
 7. ~~Each home will be constructed to be solar-ready, including reserved breaker space in the main panel, conduit run from attic to electrical room, conduit stubbed toward the meter location, roof structural consideration for future attachment, and wall space allocated for inverter or battery.~~
6. —
7. —

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Streets and Parking

The location of streets, access to parking areas, and sidewalks shall be constructed in the areas generally shown on the Master Plan ~~Layout and as shown in the layout in Appendix B~~. The private road entrance for Collicello North off of Edom Road may be shared with tax map 40-I-6.

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A variance to the Subdivision Ordinance for the design of streets, alleys, blocks, easements, sidewalks, and all such related features along with allowing lots to not have public street frontage shall be applied for during the preliminary platting of this development.

The variance is needed so the preliminary plat and final plat can be adopted in accordance to the Master Plan ~~and Appendix B Layout~~. ~~Note that Appendix B provides proposed street widths, sidewalks, and indicates streets as public or private. Appendix B also delineates parking areas.~~

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- Landscaping within the public and private street rights-of-ways will be maintained by the Collicello North Home Owners Association.

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Bicycle and Pedestrian Path

As indicated on the Master Plan ~~Layout~~, a bicycle and pedestrian path ~~is will be constructed in the~~ generally located ~~shown~~ along the west end of the Lower Green and Type D² ~~units lots~~ and will continue north between the Type F & E ~~units lots~~. If this path cannot be accommodated in this general location, a different location may be provided within the development to provide the same connection intent as described in the Vision.

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Transit

~~So long as the Harrisonburg Department of Public Transportation approves of a location, a bus stop will be provided near the intersection of 5th and Collicello Streets. Until such time that the mixed use area is sufficiently developed, the existing bus stop location on the corner of Collicello and 3rd is acceptable.~~

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² See footnote 1.

However, when the mixed use area is substantially completed, which includes

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shelter for individuals waiting for the bus, it is the developers extreme wish to have a bus stop located as proposed on the Master Plan.

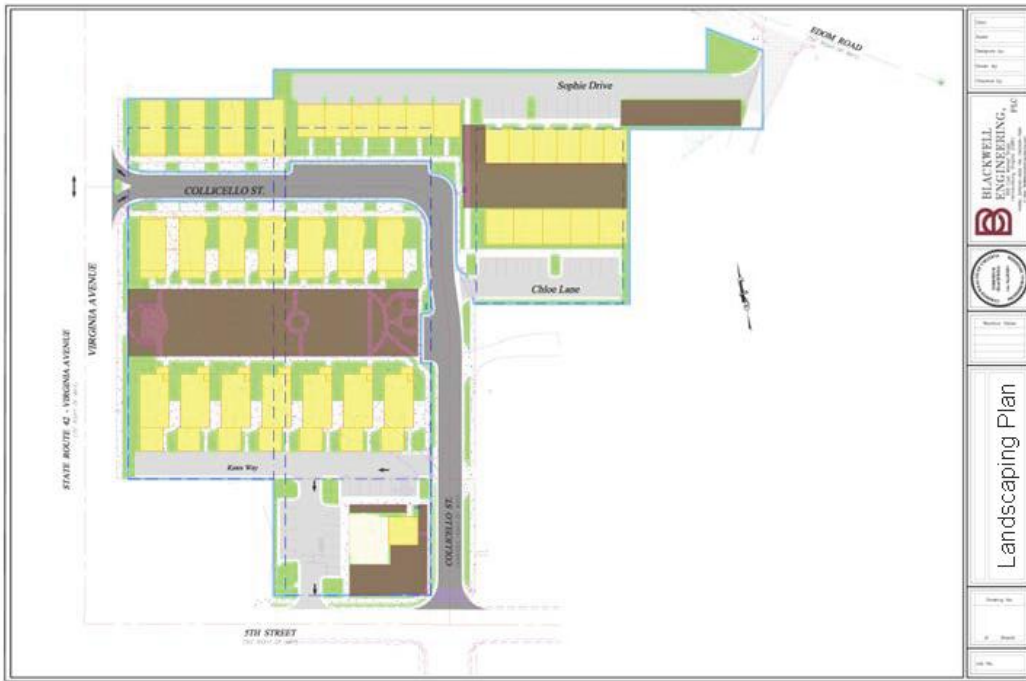
TABLE B

General Landscape Plan

Landscaping will, at a minimum, include the following vegetation, which will be planted within the on real property owned or maintained by the HOA and maintained by the HOA thereafter, within the shaded areas outlined on the below Landscaping Plan (Table B):

- At least two large deciduous trees that are at least two (2) inches in caliper at the time of planting and a minimum of ten (10) feet in height at the time of planting; and
- At least six smaller deciduous trees that are at least one (1) inch in caliper at the time of planting, and which are of a species that typically reaches a height at maturity of at least fifteen (15) feet.

The foregoing tree requirements shall not be construed to prevent the developer from planting additional landscaping in other areas of the development.



Appendix A

~~Illustrates conceptual renderings of the residential buildings.~~

Appendix B

~~Phasing, Proposed Public Street Right Of Way, Parking and Common areas~~ Master Plan Layout

Appendix C

~~Property Owners' Association Covenants, Conditions, and Rights~~

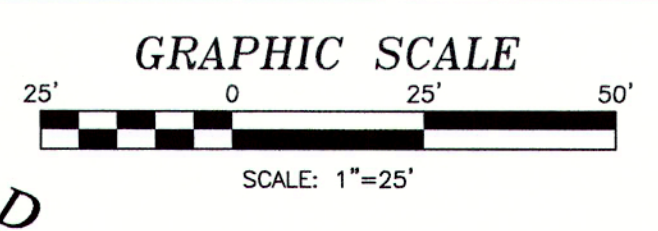
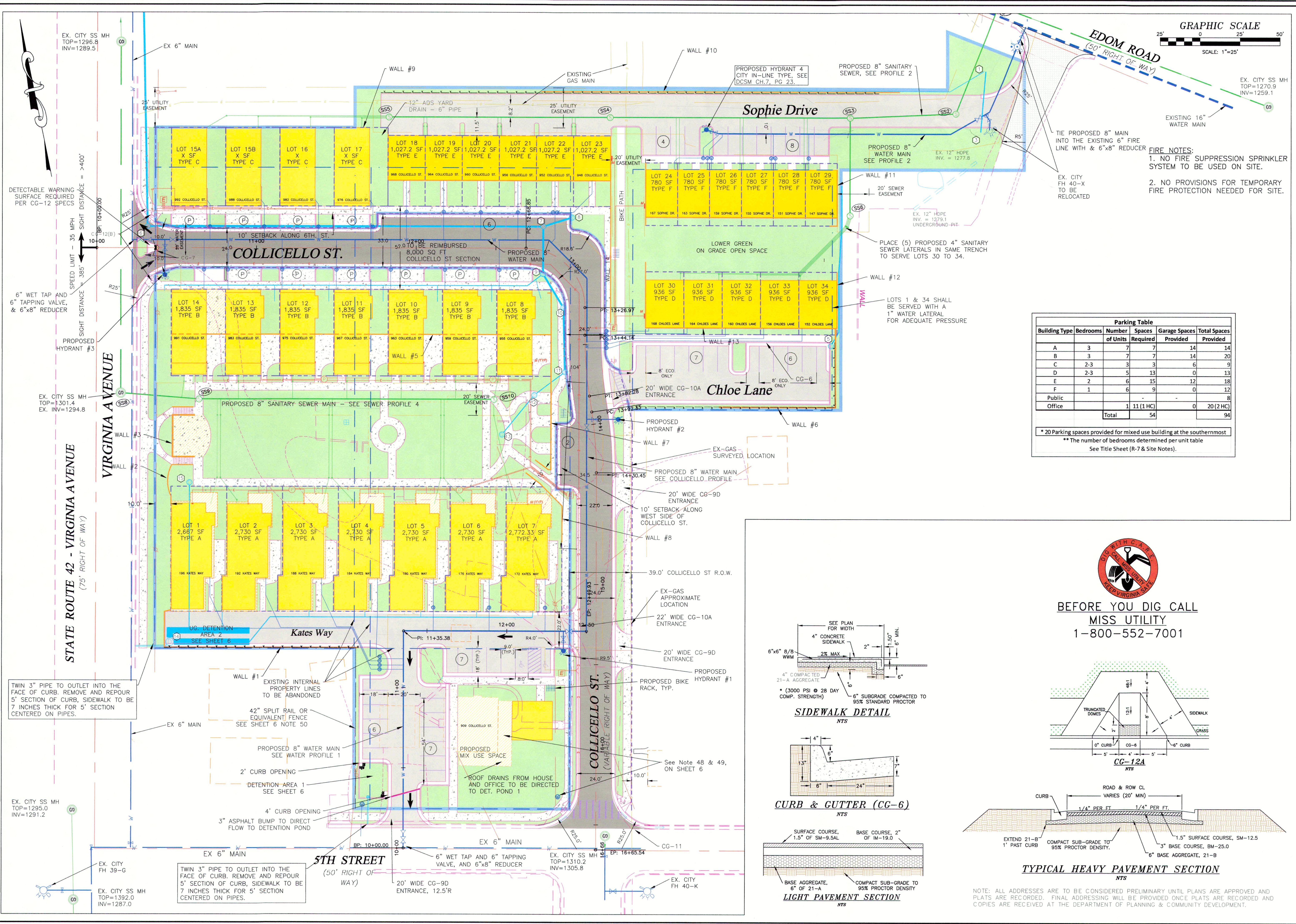
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Sec. 10-3-111. - Height.

The height regulations heretofore established will be adjusted in the following cases:

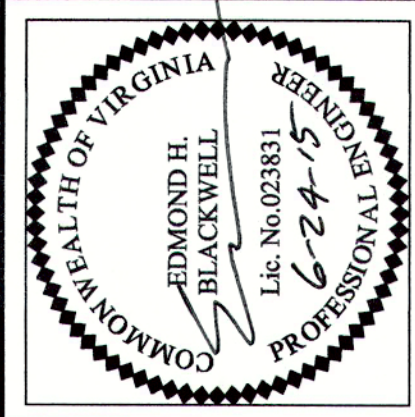
- (1) The height limitations of this chapter shall not apply to the architectural features such as chimneys, spires, etc., and necessary accessory structures such as water towers, smokestacks and conveyors which are incidental to uses permitted in nonresidential districts.
- (2) The limitations on the number of stories shall not comply to buildings and structures not intended for human occupancy, but heights shall be governed by technical and environmental standards.

(Ord. of 4-23-96)



Date: NOV 2013
 Scale: AS SHOWN
 Designed by: EHB
 Drawn by: JRC/PBR
 Checked by: EHB

BLACKWELL ENGINEERING, PLC
 566 East Market Street
 Harrisonburg, Virginia 22801
 PHONE: (540)432-9555 FAX: (540)434-7604
 E-Mail: BE@blackwellengineering.com



Revision Dates

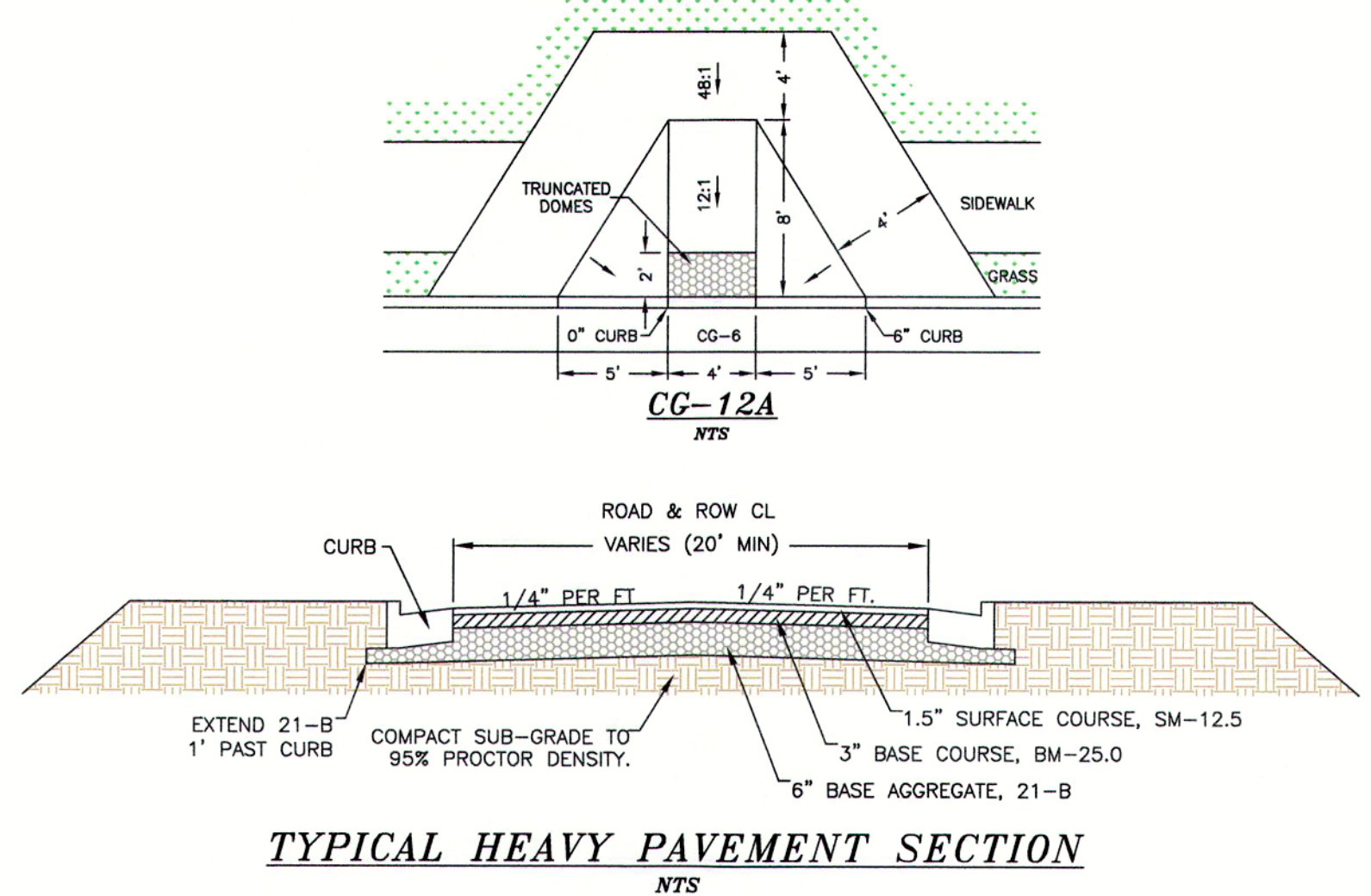
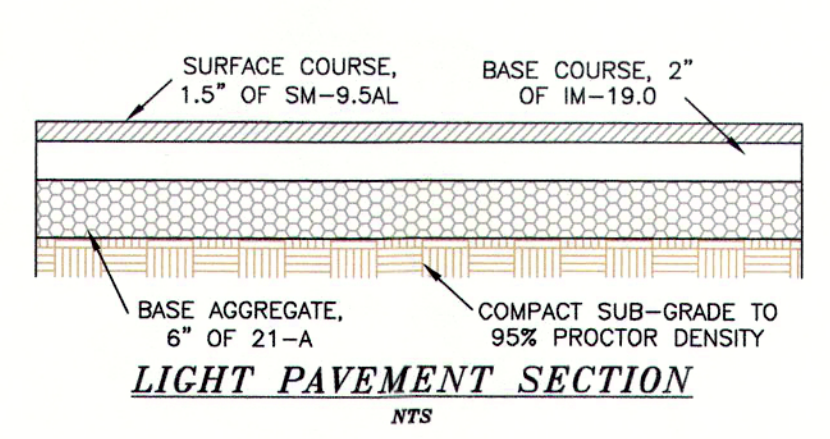
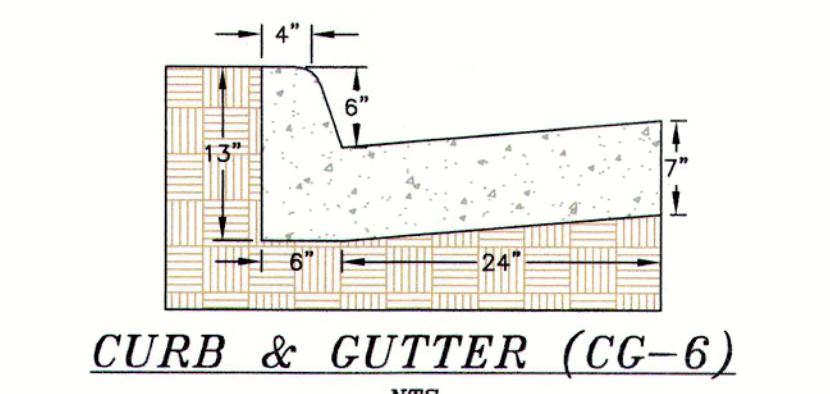
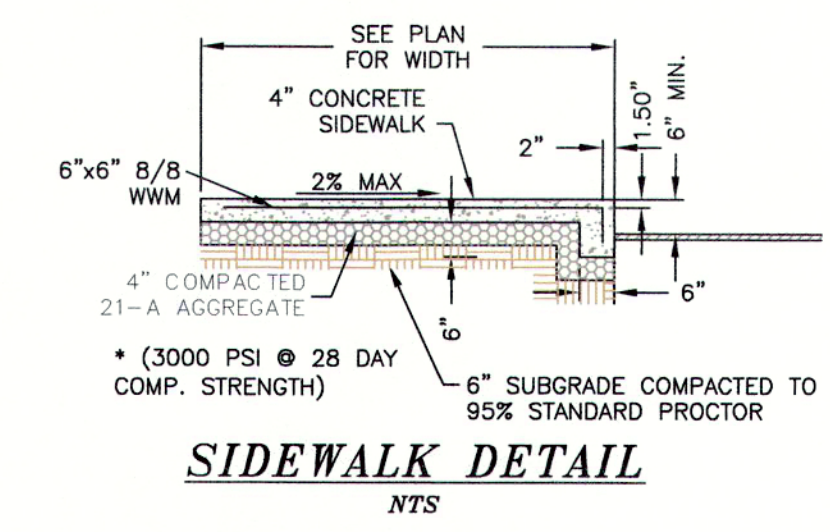
3	07/22/14	CITY COMMENTS
4	08/28/14	CITY COMMENTS
5	10/22/14	CITY COMMENTS
6	04/29/15	ADDENDUM #1

Parking Table

Building Type	Bedrooms	Number of Units	Spaces Required	Garage Spaces Provided	Total Spaces Provided
A	3	7	7	14	14
B	3	7	7	14	20
C	2-3	3	3	6	9
D	2-3	5	13	0	13
E	2	6	15	12	18
F	1	6	9	0	12
Public Office		1	11 (1HC)	0	20 (2HC)
Total			54		94

* 20 Parking spaces provided for mixed use building at the southernmost
 ** The number of bedrooms determined per unit table
 See Title Sheet (R-7 & Site Notes).

BEFORE YOU DIG CALL MISS UTILITY
 1-800-552-7001



NOTE: ALL ADDRESSES ARE TO BE CONSIDERED PRELIMINARY UNTIL PLANS ARE APPROVED AND PLATS ARE RECORDED. FINAL ADDRESSING WILL BE PROVIDED ONCE PLATS ARE RECORDED AND COPIES ARE RECEIVED AT THE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT.

MASTER PLAN
 COLLICELLO NORTH
 KIN GROUP, LLC
 5782 GREENHILL ROAD
 LINVILLE, VA 22834

Drawing No.
2
 of 8 Sheets

Job No. 2266



City of Harrisonburg, VA
 Department of Public Works

**Determination of Need for a
 Traffic Impact Analysis (TIA)**
 www.harrisonburgva.gov/traffic-impact-analysis

For inclusion in an application for Planning Commission review (for Special Use Permit, Rezoning or Preliminary Plat), this form must be submitted to the Public Works Department at least 5 business days prior to the Planning Commission application deadline.

Contact Information			
Consultant Name:	Jason Propst		
Telephone:	540-476-0454		
E-mail:	Jason@propstfamilydev.com		
Owner Name:	Al Thomas		
Telephone:	773-502-5024		
E-mail:	Almarkthomas@gmail.com		
Project Information			
Project Name:	Collicello North		
Project Address:	919 Collicello Street		
TM #:	40-H-1		
Existing Land Use(s):	Housing		
Proposed Land Use(s): (if applicable)	Vacant		
Submission Type:	Comprehensive Site Plan <input type="radio"/>	Special Use Permit <input type="radio"/>	Rezoning <input checked="" type="radio"/>
			Preliminary Plat <input type="radio"/>
Project Description: (Include site plan or preliminary sketch and additional details on land use, acreage, access to site, etc)	2.96 AC, 36 lot subdivision including existing Home at 919 Collicello. Development is divided into 18 Single Family detached homes and 17 attached. Main Entrances from Collicello street at 919 and from the opposite corner from Virginia Avenue.		
Peak Hour Trip Generation (from row 15 on the second page)			
AM Peak Hour Trips:	20		
PM Peak Hour Trips:	26		

(reserved for City staff)

TIA required? Yes _____ No

Comments:

Accepted by: *Timothy Mason*

Date: 03/06/2026

Peak Hour Trip Generation by Land Use

Row	ITE Land Use		ITE Land Use Code	Unit	Quantity	AM Peak Hour of Adjacent Street Traffic	PM Peak Hour of Adjacent Street Traffic
1	Proposed #1	Single Family Detached	210	Dwelling Unit	19	13	18
2	Proposed #2	Single Family Attached	215	Dwelling Unit	17	8	9
3	Proposed #3						
4	Proposed #4						
5	Proposed #5						
6	Proposed #6						
7	Total New Trips					21	27
8	Existing #1	Single Family Detached	210	Dwelling Unit	1	1	1
9	Existing #2						
10	Existing #3						
11	Existing #4						
12	Existing #5						
13	Existing #6						
14	Total Existing Trips					1	1
15	Final Total (Total New – Total Existing)					20	26

Instructions

Determination of trip generation rates shall be in conformance with ITE guidelines.

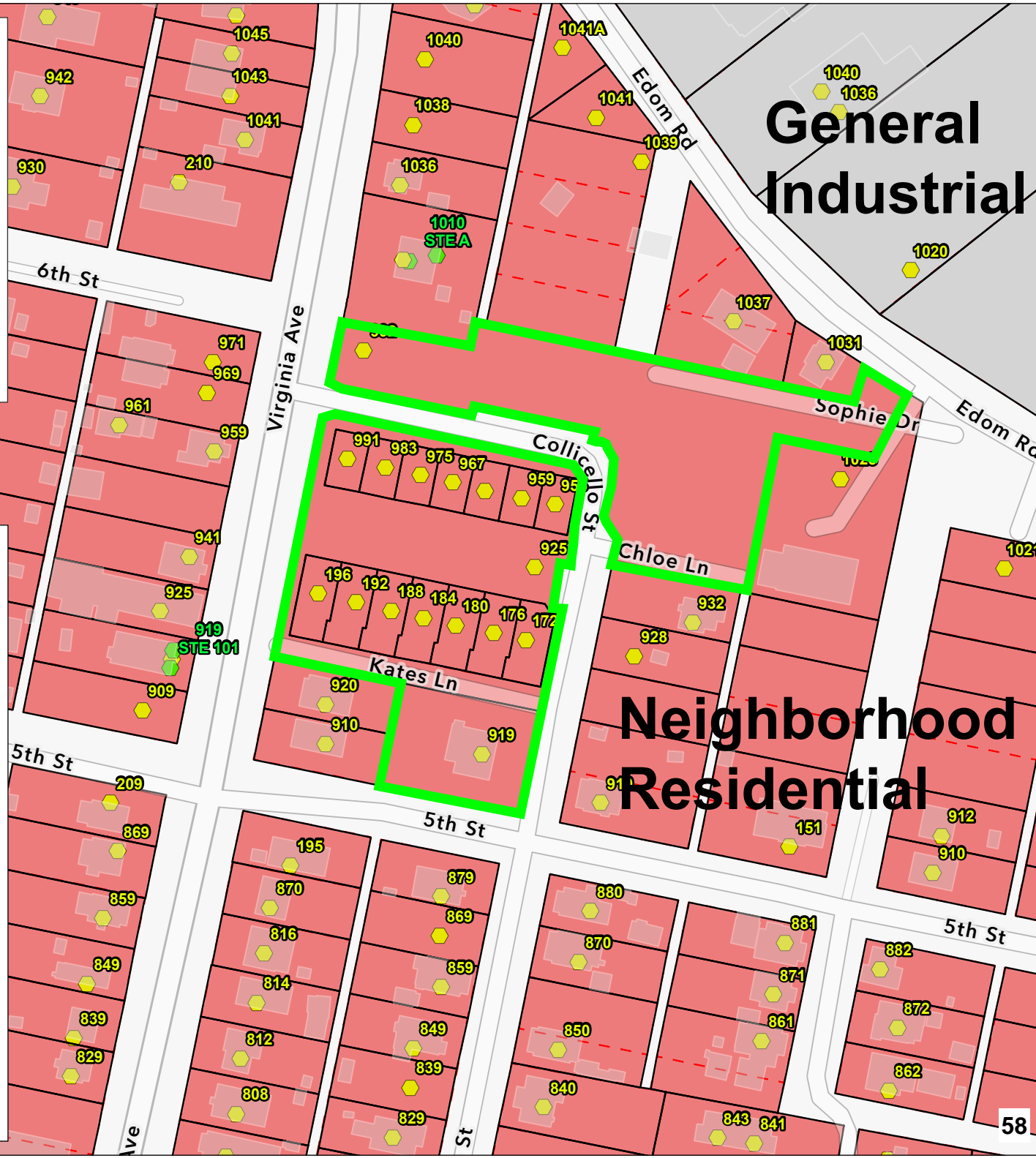
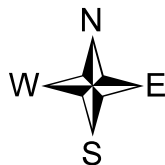
1. Based on the intended use(s), calculate the AM Peak and PM Peak trip generation using the AM and PM Peak Hour of Adjacent Street Traffic rates from the most current version of the ITE Trip Generation Manual (rows 1-6). Attach additional sheets as necessary for more uses.
2. Sum up all of the trips generated for the new uses in the Total New Trips row (row 7).
3. If the development has any existing uses, calculate the AM Peak and PM Peak trip generations using the AM and PM Peak Hour of Adjacent Street Traffic rates from the most current version of the ITE Trip Generation Manual (rows 8-13). Attach additional sheets as necessary for more uses.
4. Sum up all of the trips generated for the existing uses in the Total Existing Trips row (row 14).
5. Subtract the total existing trips from the total new trips to get the final total number of trips generated by the development (row 15). Enter these numbers on the first page.

Revised Date: December 2019

City of Harrisonburg

Rezoning
(R-7 Master Plan Amendment)
Multiple Addresses Collicello Street
and Kates Lane
Tax Map: 40-H-1, 11, 17 though 30
& 40-I-16
+/- 2.96 acres

(FUTURE) LAND USE GUIDE



General Industrial

Neighborhood Residential

City of Harrisonburg

Rezoning
(R-7 Master Plan Amendment)
Multiple Addresses Collicello Street
and Kates Lane
Tax Map: 40-H-1, 11, 17 though 30
& 40-I-16
+/- 2.96 acres





City of Harrisonburg, Virginia

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

STAFF REPORT

June 12, 2013

REZONING - COLLICELLO NORTH R-7 (KIN GROUP, LLC)

GENERAL INFORMATION

- Applicant:** Kin Group, LLC with representative Dean Weaver
- Tax Map:** 40-H-1—8 and 11—16, 40-I-14, 15, and 16, and portions of undeveloped 6th Street right-of-way, undeveloped portions of Collicello Street right-of-way, adjacent undeveloped alleys, and other public street right-of-way near Edom Road all of which is illustrated on tax map sheet 40.
- Acreage:** 127,195 +/- square feet
- Location:** Bounded by Virginia Avenue, 5th Street, portions of undeveloped Collicello Street, and Edom Road
- Request:** Public hearing to consider rezoning 17 parcels and portions of undeveloped public street and alley right-of-way that will soon be in their ownership from R-2, Residential District and M-1 General Industrial District to R-7, Medium Density Mixed Residential Planned Community District. The planned development will provide at least 35 dwelling units and would permit any allowable non-residential uses.

LAND USE, ZONING, AND SITE CHARACTERISTICS

The Comprehensive Plan designates this area as Neighborhood Residential. This designation states that this type of land use highlights those neighborhoods in which existing conditions dictate the need for careful consideration of the types and densities of future residential development. Infill development and redevelopment must be designed so as to be compatible with the existing character of the neighborhood. These are older neighborhoods, which can be characterized by large housing units on small lots.

The following land uses are located on and adjacent to the property:

- Site:** Vacant commercial building and undeveloped lots and property, zoned R-2 and M-1
- North:** Business office fronting Virginia Avenue, zoned M-1, undeveloped lots fronting undeveloped Collicello Street, zoned M-1, and an automobile repair shop and a non-conforming single family home, zoned M-1
- East:** Automobile repair shop, and across Edom Road, parking lot, zoned M-1
- South:** Nonconforming single family home fronting Collicello Street, zoned M-1, and a single family home fronting Collicello Street, and across 5th Street single homes, zoned R-2

West: Single family homes fronting Virginia Avenue, zoned R-2, and across Virginia Avenue, a repair shop and non-conforming single family homes, zoned M-1, and a duplex structure, zoned R-2

EVALUATION

The applicant is requesting to rezone six parcels, zoned R-2 Residential District, and 11 parcels, zoned M-1, General Industrial District, along with adjacent undeveloped public street and alley right-of-way (ROW) that will soon be in their ownership, all to the R-7, Medium Density Mixed Residential Planned Community District. The property is located at the north end of the developed section of Collicello Street, bounded by 5th Street, Virginia Avenue, portions of undeveloped Collicello Street, and Edom Road. The subject area totals 127,195 +/- square feet (2.92 +/- acres) in area and would contain at least 35 residential dwelling units. The proposed master planned neighborhood has been named "Collicello North."

The applicant is the same entity that over the past year received approval from City Council to close and purchase the adjacent public street and alley ROWs including: the majority of undeveloped 6th Street between Virginia Avenue and Edom Road, portions of undeveloped ROW near Edom Road, portions of undeveloped Collicello Street to the south of its intersection with undeveloped 6th Street, and portions of two undeveloped alleys off of and perpendicular to undeveloped 6th Street. As shown on the master plan layout, the applicant will also soon be requesting to close more undeveloped Collicello Street ROW; a 1,557 +/- square foot area that is entirely encompassed by this proposed development. If this area is closed and purchased by the developer, and if the developer purchases additional undeveloped 6th Street ROW that was originally planned to be bought by the adjacent property owner of tax map 40-I-6, then additional residential units could be built within Collicello North because both of the mentioned areas would become zoned R-7 and added to the overall development. The planning for this scenario has been incorporated into the regulatory control of the Collicello North master plan.

To fully understand the proposed rezoning, one must understand the R-7 zoning district, which was added to the City Code in October 2005. The adoption of this district put into practice listed strategies of the 2004 Comprehensive Plan including, among other things, providing incentives for neighborhoods that contain a mix of housing types and for providing open space or cluster development to preserve green space within subdivisions. The 2004 plan also strategized to address traffic calming measures and to create flexibility with building setbacks that could enhance social interaction among neighbors. These strategies led to the creation of the R-6 and R-7 zoning districts. In brief, these districts have the same intent except that R-6 allows only detached single family homes at a maximum of six units per acre, while the R-7 allows detached, attached, and multi-family units at a maximum of 12 units per acre. The R-6 district allows five percent non-residential uses, while the R-7 district allows 10 percent non-residential uses. The non-residential uses permitted by these districts that cannot exceed the specified percentages include: retail stores, convenience shops, personal service establishments, restaurants, food and drug stores, and governmental, business, professional, and financial institutions. Other non-residential uses of this district include places of worship and child and adult day care centers, however, such uses are not limited in the amount of area they may take up within such developments.

As explained by the Zoning Ordinance, the purpose of the R-7 district is intended to provide opportunities for the development of planned residential communities offering a mix of single family detached units, single family attached units, and in certain circumstances, multi-family units. R-7

neighborhoods are developed under an approved master development plan that incorporates regulatory text and a master layout of the neighborhood. In other words, aside from particular provisions of the Zoning Ordinance that must be met, the approved master plan is the “zoning” by which all development must abide. The R-7 zoning district requires a minimum of two contiguous acres, a minimum of 15 percent open/green usable space, and at least two types of residential housing types, where no one type can exceed 70 percent of all residential units. If multi-family units are built, they cannot exceed 30 percent of the total number of units. The master plan must also identify the required areas, widths, depths, and building setback requirements of all lots and it may also incorporate provisions that are typically regulated by Article T of the Zoning Ordinance, which among other things includes the regulations for walls and fences; terraces, patios, and decks; and accessory buildings.

To date, the City has approved two R-7 master planned communities: Brookside Park and the Quarry. Aside from Collicello North, these are the only two R-7 applications to ever be submitted. The Brookside Park master plan was originally approved in June 2006, but has been amended twice; once in 2007 and then again in 2011. This development has not been completed but has gradually developed over the past few years. It is located off of Suter Street and includes over 7 acres of property and is master planned to include single family detached and attached homes at about 82 percent of the maximum permitted density. The Quarry was approved in September 2007 and includes about 118 acres of property located off of Linda Lane and Smithland Road and is master planned to include non-residential uses along with all housing types allowing up to 744 residential units, which is a little over half of the permitted density. This development never materialized but has received attention from potential developers since its approval.

With regard to the subject request, Collicello North has met or exceeded all of the minimum required provisions to construct an R-7 development. The property is almost three acres in size; the master plan text defines all of the area and dimensional requirements for all lots; the master plan layout illustrates the general arrangement and location of the types of residential units, roads, sidewalks, and landscaping; the neighborhood will have at minimum just over 15 percent usable open/green space; and they have addressed the regulatory matters of Article T. As is necessary when proposing a rezoning in any of the City’s master planned districts, the developer has worked closely with staff to ensure the provisions of the master plan can be practically applied. The master plan text and layout have been thoroughly reviewed and edited, where necessary, by City staff. The master plan text and the governing layout sufficiently explain the details of Collicello North, and therefore such information does not need to be repeated in this report. However, there are several matters that need to be clarified herein.

First, the project would maximize the permitted density of 12 units per acre in providing at least 35 dwelling units—15 single family detached units, one duplex structure (two units), and 18 townhouse units—all made up among six different housing types. All buildings, including community buildings and non-residential structures, would have zero building setbacks. Note that although zero setbacks are afforded to the single family detached units, this provision is more about offering flexibility in design as these dwelling units could never physically touch another unit because they would then be considered attached units, which would not be permitted by the master plan.

A majority of the residential lots would not have public street frontage; therefore, a variance to the Subdivision Ordinance Section 10-2-42 (c) would be required during the platting of this project. As described earlier, if additional density is achieved by purchasing more property, then extra units could be built. The additional units could take the form of any of the permitted types as indicated in the

master plan, the existing single family home, or multi-family units. If multi-family units are constructed, they would be incorporated within the area delineated for mixed-use at the corner of the intersection of Collicello Street and 5th Street and would be designed and built in conformity to the vision and intent of the rest of Collicello North. If density permits, the multi-family units may be incorporated into a mixed-use building that might house any of the non-residential uses allowed by the district. Collicello North will allow any of the non-residential uses up to the maximum 10 percent of the development, which at this time is about 12,720 square feet. As required by the R-7 zoning district, the 10 percent includes all land area associated with the non-residential uses (i.e. streets, parking, landscaping, etc.). Buildings containing non-residential uses cannot exceed floorplates of 7,500 square feet, while mixed use buildings allow the entire first floor of the building to include the non-residential uses.

What is not obvious when looking at the master plan layout with regard to residential unit parking spaces, is that the developer has uniquely designed the driveways leading into the garages of the Type B, C, and E units as parallel parking spaces. The parallel spaces for the Type B and C units offer additional parking spaces for the property owner, or to be available to offer parking spaces for neighbors if they are having a family event or if there is a community event. The parallel spaces for the Type E units are provided to meet the minimum parking spaces necessary for those townhome units.

With regard to the public street layout, the designed road does not meet the typical requirements of public streets pursuant the Design and Construction Standards Manual (DCSM). It is already known that some of these issues will include deviations to street and ROW width requirements, curve designs, and to the standards for street classifications. Because of these issues, a variance to the Subdivision Ordinance for the design standards of the street would be required during the platting of the project. As is specified with the Subdivision Ordinance Section 10-2-41 (a), variances may be approved by City Council on a case-by-case basis when:

- the proposed alternative would better achieve the walkable, pedestrian and bicycle-oriented environment the city desires;
- the particular conditions of the site and surrounding street network would allow the proposed alternative without causing undue inefficiencies for service vehicles, nor an excessive reduction in pedestrian safety due to pedestrian-vehicle movement conflicts; and
- the proposed alternative would better balance the needs of pedestrians and vehicles, and better achieve the goals of the comprehensive plan.

Staff believes the proposed street layout meets the criterion above and is prepared to support the necessary variances during the platting phase. The intent behind Collicello North's street layout is to utilize narrow street widths combined with streetscape planting to create traffic calming measures for a safer environment for automobiles, pedestrians, and bicyclists.

The Collicello North master plan also indicates the extension of Collicello Street will either be a public or private street. At this point, the most likely scenario, and also the hope of the developer, is that the entire road will be a public street. The road section to be built within the existing undeveloped Collicello Street ROW can be accepted as a public street as such a design meets specific criterion for the City to be able to receive maintenance funds from the Virginia Dept of Transportation. The remaining road section that would connect the existing ROW westward to Virginia Avenue is the part of the road that could still be a private street. Regardless of that section being public or private, the physical road would be built as shown. All other roads shown on the master plan will be private streets. Any section of a street that is not public will not be maintained by the City, and therefore, will not

receive City trash services or receive public snow removal services. Public school bus services would be provided as is determined necessary.

Regarding the phasing of the project as shown within Appendix B, pursuant to the requirements of the Zoning Ordinance Section 10-3-11 (c) concerning certificates of occupancy, no certificates of occupancy shall be issued for any building within any phase, unless the phase is completed or the developer has posted an approved surety to the City, to complete any particular phase. A note on the phasing layout sheet indicates the developer's preference to build phases 1 and 2 in immediate sequence, which would complete the through street. However, if there is a gap between these two phases, a temporary, public turnaround will be provided.

The Collicello North master plan also indicates that if the City approves of its location, a transit bus stop area would be provided within the mixed use area near the intersection of Collicello Street and 5th Street. The Director of the Department of Public Transportation has already commented that at the present time, such a stop at the desired location would most likely not be accommodated as there is a transit stop near the intersection of 3rd and Collicello Streets. The City's goal is to be within $\frac{3}{4}$ of a mile of everyone, thus the residents of Collicello North would be serviced by the stop on 3rd Street.

As discussed above, the development would require variances from the Subdivision Ordinance. These variances should be considered when making a recommendation for this project as approving an R-7 plan of development could be perceived as also providing an endorsement for variances that would be requested during the platting phase.

The Comprehensive Plan designates the entire subject area and the majority of the surrounding area as Neighborhood Residential. This designation is characterized by large housing units on small lots, where existing conditions should dictate the types and densities of future residential development, and where infill development and redevelopment should be compatible with the existing neighborhood. Given the site's location within the overall neighborhood, the physical characteristics (i.e. slope and grade) of the project site, and the general design and philosophy of Collicello North, staff believes the intent of the Neighborhood Residential land use designation would be fulfilled.

Much of the subject property is zoned M-1, therefore rezoning these industrially zoned properties to a residential district is more in line with the long term plans of the City. As one travels north, up the hill of Collicello Street, single family detached homes would be the first types of residential units visible to the rest of the existing single family and duplex neighborhood to the south. The majority of Collicello North's attached units would be built beyond the crest of the knoll, not visible from the existing neighborhood, and predominately accessible only from Edom Road, lessening the overall traffic impact of this development to the existing neighborhood. Staff also appreciates that the first two phases of the project would build all of the detached single family homes—the later phases would incorporate the attached residential units. Often times, detached single family homes are built in later phases of development projects.

Although the unit density of Collicello North and the utilization of townhome units is closer to an R-3-type development than an R-2-type development, which is what the majority of the neighborhood to the south is zoned and what is traditionally thought of as a Neighborhood Residential development, Collicello North is quite different from a medium to high density R-3 development because R-7 dwelling units must be occupied by a single family or not more than 2 persons, which is similar to R-1 and R-2 occupancy restrictions. The R-7 zoning district is not a multi-tenant zoning district. It was designed to promote home ownership within a cohesive single family neighborhood. Furthermore, the

flexibility afforded through reduced setbacks and the required open space also sets it apart from other developments that achieve similar unit density.

Staff believes Collicello North embodies the intent of the R-7 zoning district and is master planned in a way that creates an excellent transition from the existing neighborhood toward the existing industrial uses along Edom Road.

Staff recommends approving the request to rezone the properties from R-2 and M-1 to the R-7 Medium Density Mixed Residential Planned Community District.

collicello

NORTH

MASTER PLAN

Kin Group, LLC
6322 Acker Lane
Linville, VA 22834

Approved
by City Council on:

07-23-13

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II. Vision

III. Zoning Regulations

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Table B – General Landscape Plan

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Appendix B – Phasing, Proposed Public Street Right-Of-Way, Parking and Common areas

Appendix C – Property Owners’ Association Covenants, Conditions, and Rights

Collicello North

I. Introduction

The following information comprises the Vision for Collicello North and the zoning regulations for development.

Vision

The Vision conveys the philosophy behind the conception and intent of Collicello North.

Zoning Regulations

The zoning regulations as identified in this section and Master Plan layout (described below) define the myriad of regulations necessary to bring the Collicello North Vision to fruition.

Master Plan Layout

The Master Plan layout is a graphic depiction of the Zoning Regulation sections, but the layout is a governing detail of the Collicello North development generally depicting where roads, buildings, sidewalks, landscaping, grading, and utilities will be provided.

II. Vision

Collicello North is designed to be a NetZero Ready Community aligned with the purpose of the R-7 district and based on the 7 New Urbanism Principles:

- 1) The basic building block of a community is the neighborhood.
- 2) The neighborhood is limited in physical size, with well-defined edges and center.
- 3) Corridors form the boundaries between neighborhoods, both connecting and defining the neighborhoods.
- 4) Human scale sets the standard for proportion for buildings. Buildings must be disciplined in how they relate to their lots if public space is to be successfully demarcated.
- 5) Treating a range of transportation options as important is fundamental.
- 6) The street pattern is conceived as a network to create the greatest number of alternative routes from one part of the neighborhood to another.
- 7) Civic buildings belong on preferred sites such as squares and neighborhood centers.

Every detail of Collicello North is designed to facilitate the manifestation of these principles and concepts into the fabric of a vibrant traditional neighborhood that is connected to greater Harrisonburg. Collicello North does not wish to define itself as its own community, but rather as a neighborhood among neighborhoods within the Harrisonburg community.

General Intentions of Housing and Neighborhood

The houses of Collicello North are intended to be NetZero Ready. This means that at the core of each house will be the principles of design that are the most sustainable and the most efficient in practice. First, and most importantly, the houses are not oversized, averaging around 1300 sf. Secondly, the downsized houses are oriented to welcome the southern exposure, providing protection from the north while providing sufficiently sized and oriented roof space for solar and photo-voltaic arrays. Thirdly, each home is constructed with an exceptionally tight and efficient shell. These three concepts combined with the use of quality products, excellent craftsmanship and a “house-as-a-system” approach to design, allow the houses of Collicello North to achieve a NetZero capability; producing as much energy as they use.

Weaving private areas and public areas into useable and inviting space is a challenge within urban planning. The R-7 asks for clustered groupings of living units to allow for open space. This is much easier to do when using a multi-family housing concept but is more difficult within a single-family model. Adding to the design challenges is the need to account for the demands of sustainable living. Through quality design, Collicello North has incorporated a zero-lot-line setback concept to create private outdoor living area, which also serves as the spacing between buildings to allow for access to the southern sky. Appendix A Illustrates elevation conceptual renderings of the single family buildings. Although no renderings have been sketched, the master plan will allow for multi-family development within the area delineated for mixed used. If such units are developed, these units will be integrated and made compatible with Collicello North’s other residential units through the use of good site planning, common architectural themes and landscaping.

Collicello North will also try to incorporate a bicycle and pedestrian path. The purpose of this approximately 150’ long and six (6) feet wide paved strip is to connect the upper streets with the lower access private road that leads to Edom Road. This connector has further significance as the developers of Collicello North would like to help connect this neighborhood to the planned Northend Greenway. Increasing the accessibility to the greater community while minimizing residence reliance on automobiles by creating and encouraging alternative transportation options, is a major component in Collicello North’s New Urban Principles and emphases on sustainability.

The vision is for Collicello North to uniquely apply the attributes of the R-7 zoning in such a way that allows for the principles of New Urbanism, traditional neighborhood and sustainable design, to serve our community long into the future.

III. Zoning Regulations for Collicello North

Lot area, width and depth and setbacks for all buildings are stated in Table A.

TABLE A

BUILDING TYPE	# of units	LOT SIZE (MIN. SF)	LOT DEPTH (MIN)	LOT WIDTH (MIN)	SETBACK
A- single family	7	2000'	70'	30'	0'
B - single family	7	1600'	50'	30'	0'
C - single family	3	1600'	45'	30'	0'
D - town home	6	700'	35'	19'	0'
E - town home	6	900'	40'	19'	0'
F - town home	6	700'	35'	19'	0'
Multi-Family	as permitted by density	no minimum	no minimum	no minimum	0'
Non-Residential	N/A	No minimum or maximum other than as required by the R-7 zoning regulations.	no minimum	no minimum	0'

* Any residential building type may be developed in conjunction with the mixed-use area or areas later added to the Master Plan

** One duplex on lot 13 & 14 (Type B units)

***If the existing single family structure within the mixed-use area is used as a detached single family home there shall be no minimum lot size, lot depth or lot width requirements and it shall have zero setbacks.

The Master Plan layout illustrates the general arrangement and location of buildings and where residential unit types will be located. The application of typical requirements of the City's Zoning Ordinance Article T and other regulations for this development are specified below.

1. No provisions of the City's Zoning Ordinance Article T shall apply, however matters normally regulated by Article T are otherwise regulated as indicated below.
 - Patios, courtyards, terraces, porches and other similar features may have zero setbacks along all property lines.
 - Section 10-3-111 Height shall be applicable.
 - Accessory buildings shall be held to the same setbacks required of principal buildings and as afforded by the provisions of the H.O.A.
2. Walls and fences, beams and similar items which may restrict passage or vision or simply enhance private property shall not exceed 8' may be located with a zero setback as afforded by the provisions of the H.O.A. except as restricted by needed sight lines for traffic.
3. In the event that residential dwellings utilize garage space to meet minimum required parking requirements, such space shall not be converted to livable space.

4. Any community building (i.e. pavilion) and any future amenities for the green/open space can be constructed in common areas with zero setbacks and as afforded by the provisions of the H.O.A.
5. A mixed-use area has been designated at the corner of 5th and Collicello Streets (See layout in Appendix B). This area will include any of the following uses: Non-Residential as permitted by the district, Multi-Family Units, and/or any of the residential unit types listed in Table A or the existing single family detached structure. The existing structure will be maintained as is or either renovated with new construction added or will be demolished and new building(s) constructed. Lot and dimensional requirements for such uses is governed by Table A.
6. Although the master plan layout illustrates 35 residential units, given the intent of #5 as noted above, the total number and type of dwelling units will ultimately be determined by the finalized total square footage of the master planned R-7.

Streets and Parking

The location of streets, access to parking areas, and sidewalks shall be constructed in the areas generally shown on the Master Plan layout and as shown in the layout in Appendix B. The private road entrance for Collicello North off of Edom Road may be shared with tax map 40-I-6.

A variance to the Subdivision Ordinance for the design of streets, alleys, blocks, easements, sidewalks, and all such related features along with allowing lots to not have public street frontage shall be applied for during the preliminary platting of this development.

The variance is needed so the preliminary plat and final plat can be adopted in accordance to the Master Plan and Appendix B. Note that Appendix B provides proposed street widths, sidewalks, and indicates streets as public or private. Appendix B also delineates parking areas.

- Landscaping within the public and private street right-of-ways will be maintained by the Collicello North Home Owners Association.

Bicycle and Pedestrian Path

As indicated on the Master Plan layout, a bicycle and pedestrian path is generally located along the west end of the Lower Green and Type D units and will continue north between the Type F & E units. If this path cannot be accommodated in this general location, a different location may be provided within the development to provide the same connection intent as described in the Vision.

Transit

So long as the Harrisonburg Department of Public Transportation approves of a location, a bus stop will be provided near the intersection of 5th and Collicello Streets. Until such time that the mixed-use area is sufficiently developed, the existing bus stop location on the corner of Collicello and 3rd is acceptable. However, when the mixed-use area is substantially completed, which includes

shelter for individuals waiting for the bus, it is the developers extreme wish to have a bus stop located as proposed on the Master Plan.

Appendix A

Illustrates conceptual renderings of the residential buildings.

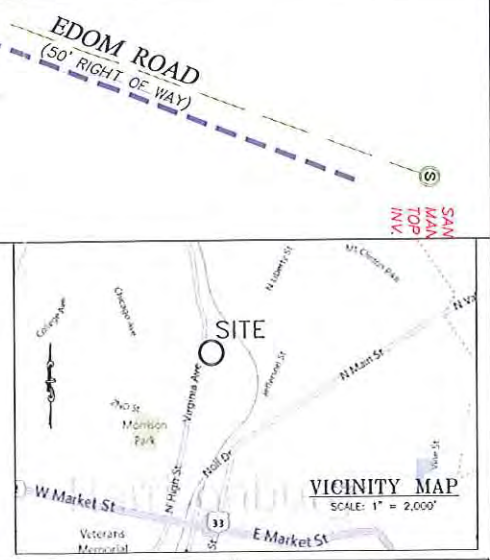
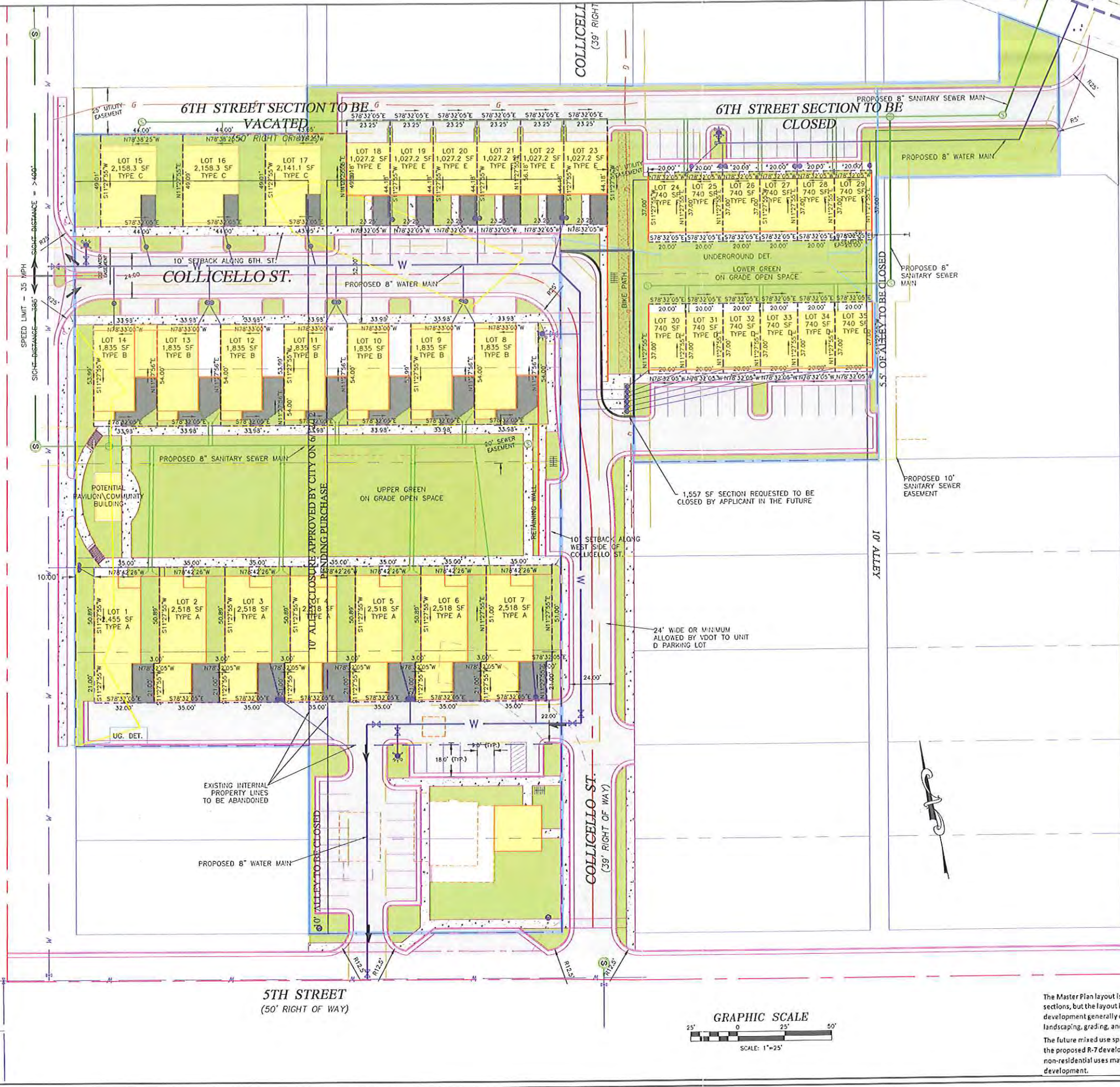
Appendix B

Phasing, Proposed Public Street Right-Of-Way, Parking and Common areas

Appendix C

Property Owners' Association Covenants, Conditions, and Rights

STATE ROUTE 42 NORTH HIGH STREET/VIRGINIA AVENUE
(75' RIGHT OF WAY)



R-7 NOTES

35 SINGLE FAMILY ATTACHED (18 - 51.4%) & DETACHED HOMES (17 - 48.6%)
1 MIXED-USE BUILDING

SITE: 128,841 sf
2.96 acres

35 UNITS MAXIMUM
RESIDENTIAL DENSITY: 12.0 DWELLING UNITS/ACRE

OPEN SPACE: 20,398 SF (0.468 AC)
15.8%

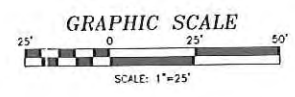
SETBACKS:
ALL SETBACKS ARE ZERO MINIMUM, EXCEPTING 10' MINIMUM WHEN ADJACENT TO PUBLIC STREET.

PARKING:
1 SPACE PER SINGLE FAM. DETACHED
1 1/2 SPACES PER SINGLE FAMILY ATTACHED (1 BEDROOM)
2 1/2 SPACES PER SINGLE FAMILY ATTACHED (2-3 BEDROOM)

A PROPERTY OWNERS' ASSOCIATION SHALL BE ESTABLISHED TO PROVIDE OWNERSHIP, CARE, AND MAINTENANCE OF ALL COMMON OPEN SPACE AREAS AND OTHER COMMON FACILITIES AND IMPROVEMENTS.

LEGEND

[Symbol]	CENTER LINE
[Symbol]	SITE BOUNDARY
[Symbol]	ELECTRIC/TELEPHONE
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT FOLDS
[Symbol]	PROPOSED UTILITY POLE
[Symbol]	WATER LINES
[Symbol]	SANITARY FORCE MAIN
[Symbol]	SANITARY LINES
[Symbol]	SANITARY CLEANOUT
[Symbol]	STORM SYSTEM
[Symbol]	PROPOSED DITCH
[Symbol]	GAS LINES
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	PROPOSED PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	EASEMENT LINE
[Symbol]	EXISTING BUILDING
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED ROAD/EOP
[Symbol]	PROPOSED PARKING
[Symbol]	EXISTING ROAD
[Symbol]	EXISTING PARKING
[Symbol]	CURBING: CG-6 OR CG-7
[Symbol]	CURBING: CG-2 OR CG-3
[Symbol]	HANDICAP PARKING
[Symbol]	DUMPSTER
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	FIRE DEPARTMENT CONN.
[Symbol]	WATER VALVE
[Symbol]	WATER METER
[Symbol]	EXISTING FENCE LINE
[Symbol]	PROPOSED FENCE
[Symbol]	PAVERS
[Symbol]	CONCRETE PAVING
[Symbol]	GRAVEL
[Symbol]	LIGHT PAVEMENT
[Symbol]	GRASS AREA
[Symbol]	SLOPES >15%
[Symbol]	BIKE RACK
[Symbol]	RIGHT-OF-WAY GIVEN TO CITY

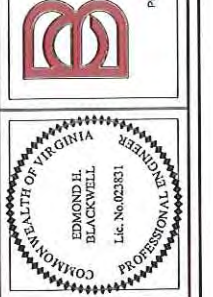


The Master Plan layout is a graphic depiction of the Zoning Regulation sections, but the layout is a governing detail of the Collicello North development generally depicting where roads, buildings, sidewalks, landscaping, grading, and utilities will be provided.

The future mixed use space as shown is less than 10% of the total area of the proposed R-7 development. However, if it can be accommodated, non-residential uses may utilize the maximum permitted 10% of the development.

Date: JUNE 2013
Scale: AS SHOWN
Designed by: EHB
Drawn by: JRC
Checked by: EHB

BLACKWELL ENGINEERING, PLC
566 East Market Street
Harrisonburg, Virginia 22801
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Revison Dates

MASTER PLAN
COLLICELLO NORTH
KIN GROUP, LLC
5782 GREENHILL ROAD
LINVILLE, VA 22834

Drawing No.
1
of 2 Sheets

Job No. 2266

Table B - Landscape

QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION
TREES			
1	Gingo Biloba	GINKGO	2-2.5"
1	Acer Sacchanum	SUGAR MAPLE	2-2.5"
1	Cercis Cauadences	EASTERN REDBUD	6-8'
1	Thuja occidentalis 'Nigra'	BLACK CEDAR	6-7'
PROJECTED PLANT TYPES			
N/A	Buxus microphylla japonica 'Justin Brouwer'	JUSTIN BROUWER BOXWOOD	15-18", #3
N/A	Buxus sempervirens 'fastigiata'	FASTIGIATA BOXWOOD	30-36", #7
N/A	Ilex glabra 'Compacta'	COMPACT INKBERRY HOLLY	15-18", #3
N/A	Ilex x 'Christmas Jewel'	CHRISTMAS JEWEL HOLLY	36-42", #7
PROJECTED PERENNIALS AND ANNUALS			
N/A	Liriope muscari 'Variagata'	VARIEGATED LILYTURF	#1

* Similar plant materials may be substituted if suitable

Once plans are finalized we will develop a more formal landscape plan.

Appendix A



UNIT A FRONT ELEVATIONS
SCALE: 1/8" = 1'-0"



UNIT A BACK ELEVATIONS

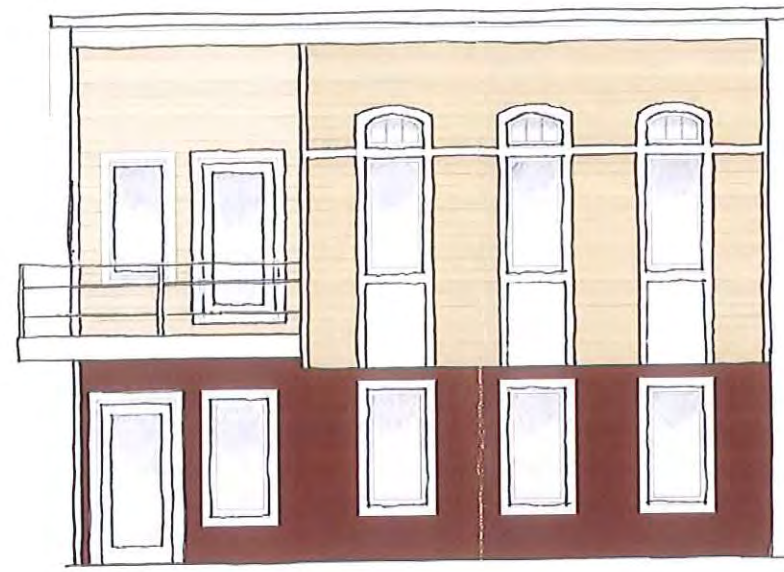
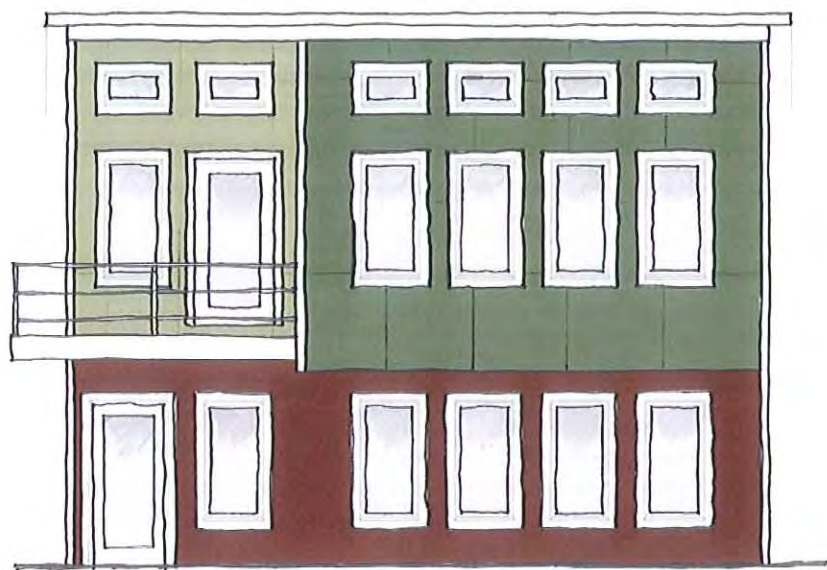
PRELIMINARY



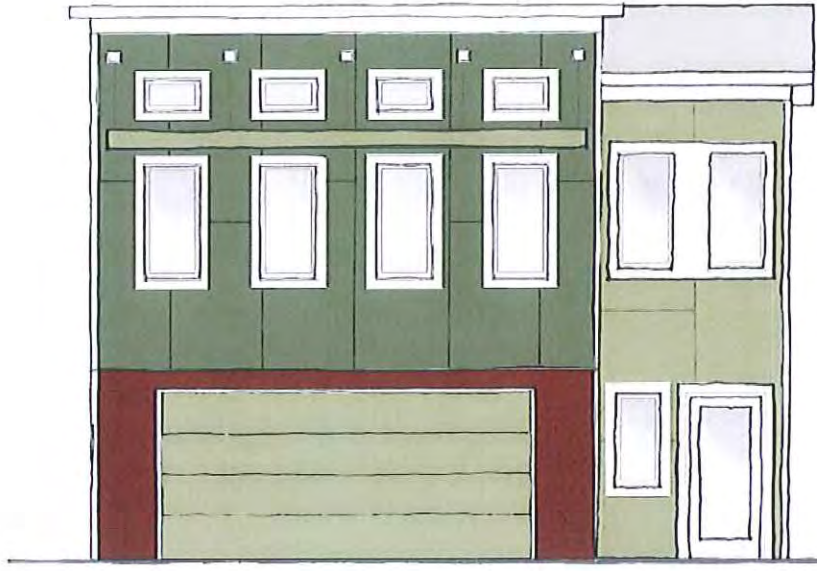
UNIT B FRONT ELEVATIONS
SCALE: 1/8"=1'-0"



UNIT B BACK ELEVATIONS

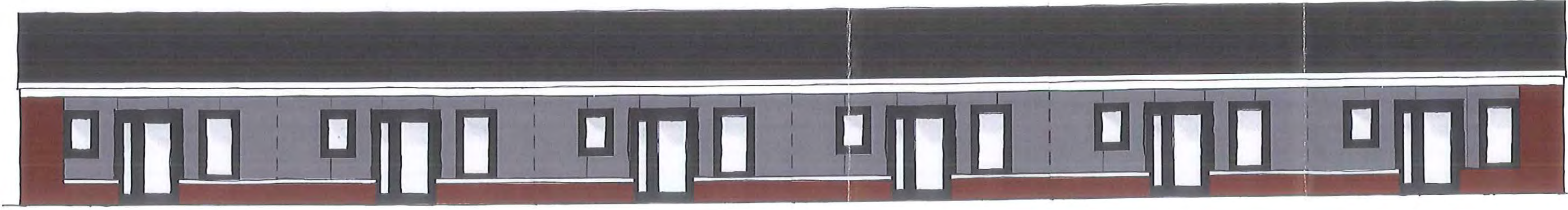


UNIT C FRONT ELEVATIONS
SCALE: 1/8"=1'-0"

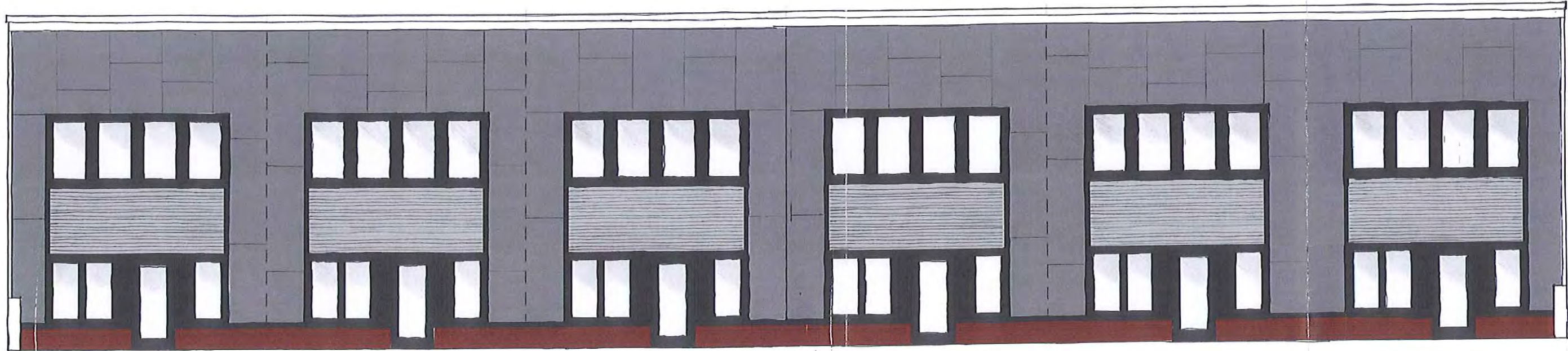


UNIT C BACK ELEVATIONS

PRELIMINARY



UNIT D FRONT ELEVATIONS
SCALE: 1/8"=1'-0"

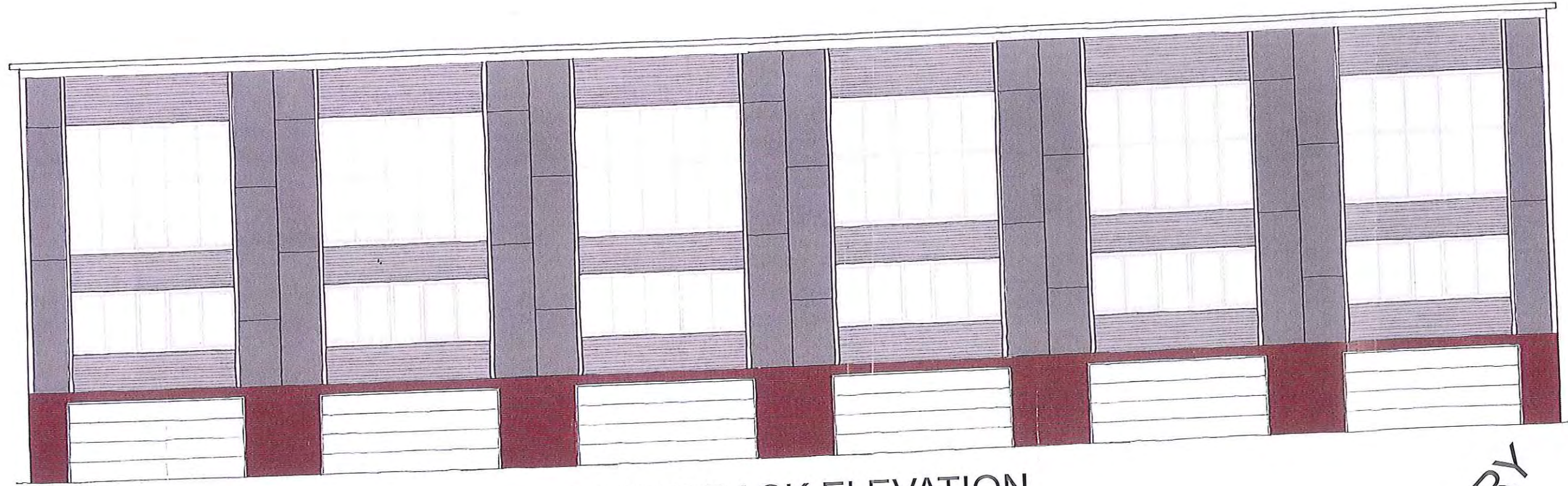


UNIT D BACK ELEVATIONS

PRELIMINARY

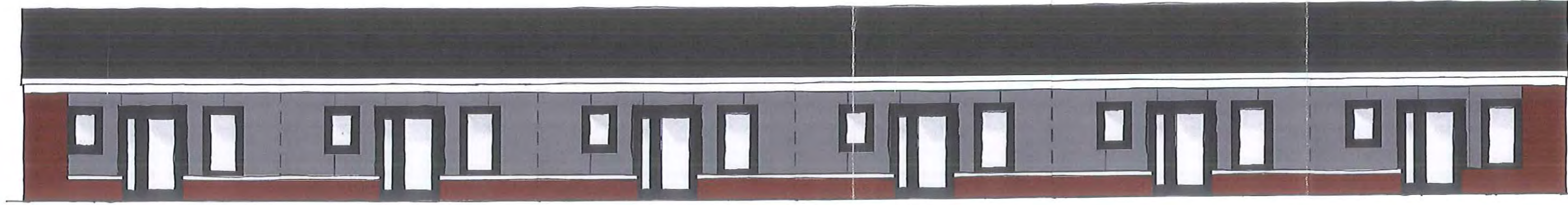


UNIT E FRONT ELEVATION
SCALE: 3/32"=1'-0"

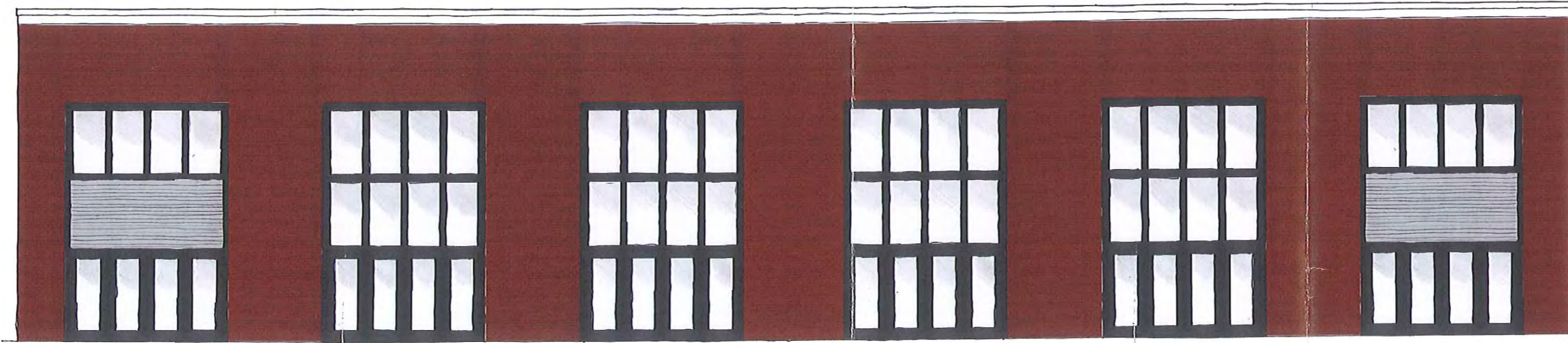


UNIT E BACK ELEVATION

PRELIMINARY



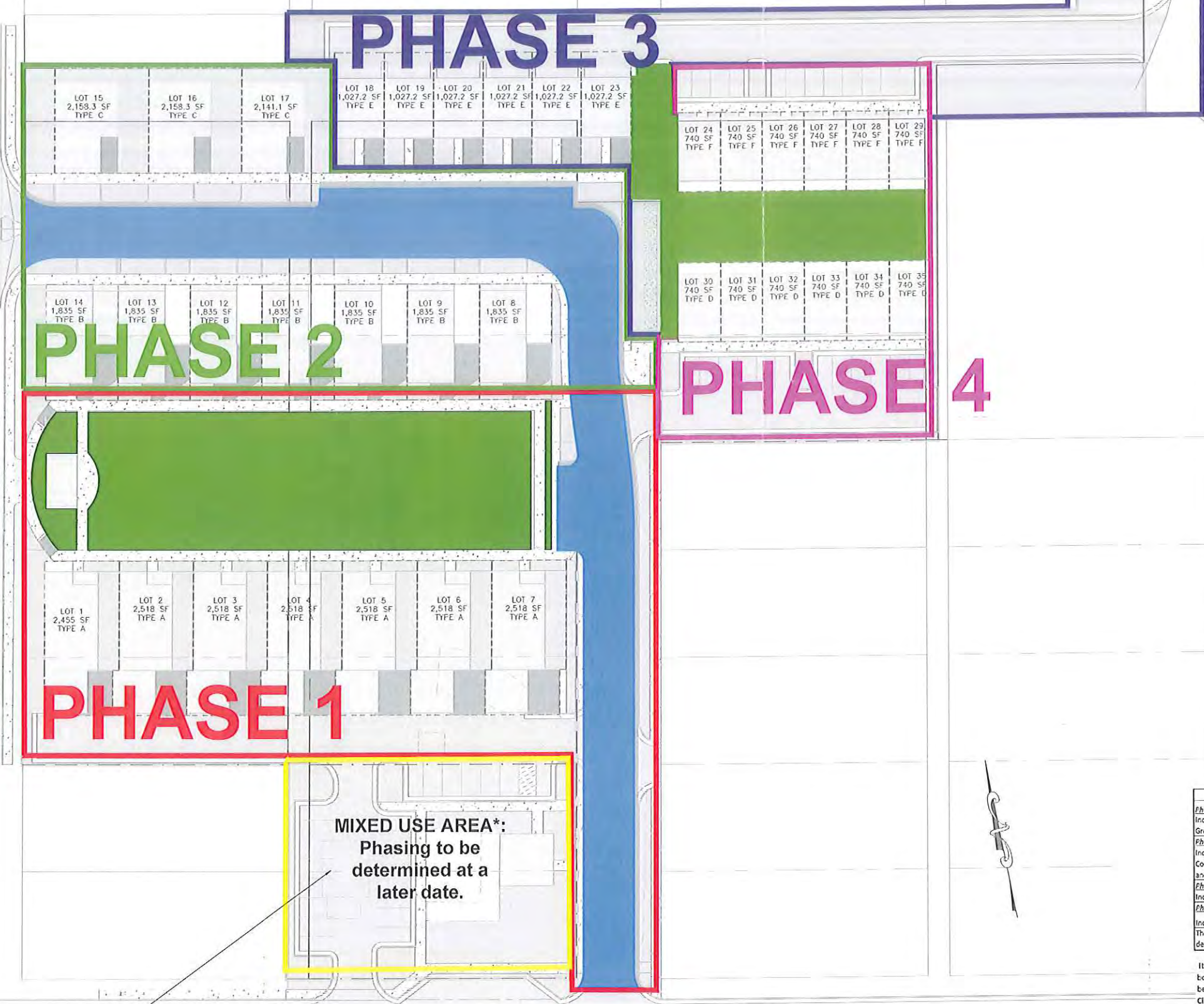
UNIT F FRONT ELEVATIONS
SCALE: 1/8"=1'-0"



UNIT F BACK ELEVATIONS

PRELIMINARY

Appendix B



- LEGEND**
- CENTER LINE
 - SITE BOUNDARY
 - E/T— ELECTRIC/TELEPHONE
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLES
 - PROPOSED UTILITY POLE
 - WATER LINES
 - SANITARY FORCE MAIN
 - SANITARY LINES
 - SANITARY CLEANOUT
 - STORM SYSTEM
 - PROPOSED DITCH
 - GAS LINES
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - SETBACK LINE
 - EASEMENT LINE
 - EXISTING BUILDING
 - PROPOSED BUILDING
 - PROPOSED ROAD/ECOP
 - PROPOSED PARKING
 - EXISTING ROAD
 - EXISTING PARKING
 - CURBING: CG-8 OR CG-7
 - CURBING: CG-2 OR CG-3
 - HANDICAP PARKING
 - DUMPSTER
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - FIRE DEPARTMENT COIN.
 - WATER VALVE
 - WATER METER
 - EXISTING FENCE LINE
 - PROPOSED FENCE
 - PAVERS
 - CONCRETE PAVING
 - GRAVEL
 - LIGHT PAVEMENT
 - GRASS AREA
 - SLOPES >15%
 - BIKE RACK
 - RIGHT-OF-WAY GIVEN TO CITY
 - COMMON AREAS

Phasing Table

Phase 1
Includes (7) Type A units with patios & courtyards, asphalt driveway from Collicello Street, Upper Green common area with sidewalks, retaining wall and steps along Virginia Avenue, retaining wall

Phase 2
Includes (7) Type B units with patios & courtyards, sidewalks, retaining walls, and completion of Collicello Street all the way to Virginia Avenue (includes curb & gutter, driveways & planting areas, and parking spaces).

Phase 3
Includes one building of (6) units, private drive to Edom Road, and bike and pedestrian path.

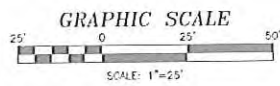
Phase 4
Includes two buildings of (6) units each, private drive and parking areas, sidewalks and lower Green. The non-residential mixed-use area is an integral component to the neighborhood and will be developed at the earliest possibility.

It is the developers preference to build the street and infrastructure needed to complete both Phase 1 and Phase 2 in immediate sequence. If it is determined there will be a gap between the two phases then a temporary Turn-A-Round will be provided according to the City's DCSM: Table 3.1.9.

Building Type	Bedrooms	Spaces Required	Garage Spaces Provided	Non-Garage Parking Provided
A	3	7	14	0
B	3	9	14	6
C	2 or 3	3	6	3
D	1	9	0	12
E	2	18	12	6
F	1	9	0	12

* 22 Parking spaces provided for mixed use building at the southernmost section of development.
 ** 8 Public-street parking spaces provided.
 *** The number of bedrooms per unit may change, however parking shall conform to Article G of the City Zoning Ordinance.

TOTAL OPEN SPACE/COMMON AREA:
20,398 SF (0.468 AC)
15.8%



A mixed-use area has been designated at the corner of 5th and Collicello Streets. This area will include any of the following uses: Non-Residential as permitted by the district, Multi-Family Units, and/or any of the residential unit types listed in Table A or the existing single family detached structure. The existing structure will be maintained as is or renovated with new construction added or will be demolished and new building(s) constructed. Although the master plan illustrates 35 units, the total number and type of dwelling units is not known and will ultimately be determined by the finalized total square footage of the master planned R-7.

Date: JUNE 2013
 Scale: AS SHOWN
 Designed by: EHB
 Drawn by: JRC
 Checked by: EHB

BLACKWELL ENGINEERING, PLC
 505 East Market Street
 Harrisonburg, Virginia 22801
 PHONE: (540)432-2656 FAX: (540)434-7004
 E-Mail: info@blackwellengineering.com



Revision Dates

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APPENDIX B
COLLICELLO NORTH
 KIN GROUP, LLC
 5782 GREENHILL ROAD
 LINVILLE, VA 22834

Drawing No.
2
 of 2 Sheets

Job No. 2266

Appendix C

DECLARATION
OF
COVENANTS, CONDITIONS, AND RESTRICTIONS
OF
"COLLICELLO NORTH" SUBDIVISION

THIS DECLARATION, made on this _____ day of _____, 2013, by KIN GROUP, LLC, a Virginia limited liability company (Grantor), hereinafter referred to as "Declarant," as the Owner and proprietor of certain Lots of land, streets and common areas totaling _____ acres, situate in The City of Harrisonburg, Virginia, shown and designated on a plat entitled " _____", dated the _____th day of _____, 2012, and made by _____, LS ("Plat"), which Plat is to be recorded in the Clerk's Office of the Circuit Court of Rockingham County, Virginia, immediately prior to the recordation of this instrument. All land shown and described on said Plat shall be referred to herein as the "Properties"; and

WITNESSETH:

WHEREAS, Declarant will convey the said Properties, subject to certain protective covenants, conditions, restrictions, reservations, liens, easements and charges as hereinafter set forth.

WHEREAS, _____ has a Deed of Trust dated _____, 2013, recorded in the aforesaid Clerk's Office in Deed Book _____, page _____, on the property that is subject to this Declaration. _____ and its Trustee, join in the Declaration to evidence their consent; and

NOW, THEREFORE, Declarant hereby declares that all of the Properties described herein shall be held, sold, and conveyed subject to the following easements, restrictions, covenants, and conditions, all of which are for the purpose of enhancing and protecting the value, desirability, and attractiveness of the Properties and insuring a uniform mode of development. These easements,

covenants, restrictions, and conditions shall run with the land constituting the Properties and shall be binding on all parties having or acquiring any rights, title, or interest in the described Properties or any part thereof, and shall inure to the benefit of each Owner thereof.

ARTICLE ONE DEFINITIONS

Section 1.1. “Association” shall mean and refer to The _____ Homeowners’ Association, its successors and assigns. The Association may or may not be incorporated or organized as a corporation or limited liability company.

Section 1.2. “Properties” or “Property” shall mean and refer to that certain real property, containing 2.84 acres more or less in the aggregate, hereinbefore described on the Plat, and such additions thereto as may hereafter be brought within the jurisdiction of the Association.

Section 1.3. “Lot” shall mean and refer to any plot of land shown upon the Plat or any subsequently recorded subdivision map of the Properties with the exception of the Roads, Parking Areas and Common Areas.

Section 1.4. “Member” shall mean and refer to every person or entity that owns one (1) or more of the Lots.

Section 1.5. “Owner” shall mean and refer to the record Owner, whether one (1) or more persons or entities, of a fee simply title to any Lot which is a part of the Properties, including contract sellers, but excluding those having such interest merely as security for the performance of an obligation.

Section 1.6. “Family” shall mean two (2) or more persons all of whom are related to each other by blood, marriage, or adoption.

Section 1.7. “Common Area” shall mean that portion of the Properties not contained within a Lot, or Lots, which Common Area shall be controlled and managed by the Declarant or the Association for the benefit of the Owners.

Common Area shall also contain the private Streets, Roads and Parking areas within the Property as shown on the Plat.

Section 1.8. “Roads” or “Streets” shall mean the public streets and rights of way such as Collicello St, and 6th St., along with the private drives for ingress and egress and Common Areas for parking as shown on the Plat, which shall be reserved for the private use of the Owners, the Declarant and the Association.

Section 1.9. “Master Plan” shall mean that Master Plan approved by the City Council of the City of Harrisonburg pursuant to the City R-7 zoning classification, which governs zoning for the Properties.

ARTICLE TWO

COMPOSITION OF ARCHITECTURAL CONTROL COMMITTEE

Section 2.1. Composition of Architectural Control Committee. The Architectural Control Committee is initially composed of a single Member appointed by Kin Group, LLC, a Virginia limited liability company, the Declarant herein. Said initial Member is Dean Weaver. The Committee may designate a representative or representatives to act for it. Upon the completion of the subdivision, and sale of all Lots therein by the Developer, the Architectural Control Committee, consisting of at least two (2) in number, shall be elected by the record title Owners of all Lots in said subdivision, each Lot having one (1) vote in such election. Such election may be called by any one (1) Lot Owner in such subdivision by giving thirty (30) days written notice to all other Owners at the address then listed with the Treasurer of the governmental subdivision having real estate tax jurisdiction over said subdivision.

Section 2.2. Authority of Architectural Control Committee. No building, fence, wall, or other structure shall be commenced, erected, or maintained upon the Properties, nor shall any exterior addition to or change, including paint and trim, roofing, or alteration therein be made until the plans and specifications showing the nature, kind, shape, height, materials, color of paint, color of roofing, and location of the same shall have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding structures and topography by the Architectural Control Committee. In the event said Board, or its designated committee, fails to approve or disapprove such

design and location within thirty (30) days after said plans and specifications have been submitted to it, approval will not be required and this Article will be deemed to have been fully complied with. Said compliance shall be limited to the scope and character of the improvements or alterations contained in the plans and specifications submitted to the Committee.

Section 2.3. Fences. All fencing, subject to the decision of the Architectural Control Committee, shall be white vinyl fencing of equal or better quality than Dutchway fencing.

Section 2.4. Driveways. All driveways shall be of equal quality and appearance to that installed by the Declarant, unless otherwise approved by the Architectural Control Committee.

Section 2.5 Patios. All patios or other hardscaped exterior surfaces within a Lot shall also conform to quality and appearance to that installed by Declarant, unless otherwise approved by the Architectural Control Committee.

ARTICLE THREE MEMBERSHIP AND VOTING RIGHTS

Section 3.1. Every person or entity who is a record Owner of a fee or undivided fee interest in any Lot which is subject by covenants of record to assessment by the Association, including contract sellers, shall be a member of the Association. The foregoing is not intended to include persons or entities who hold an interest merely as security for the performance of an obligation. No Lot Owner shall have more than one (1) membership or more than one (1) vote per Lot owned. Membership shall be appurtenant to and may not be separated from ownership of any Lot which is subject to assessment by the Association. Ownership of such Lot shall be the sole qualification for membership.

Section 3.2. The Association shall have two (2) classes of voting membership:

3.2.1. Class A. Class A members shall be all those Owners as defined in Article One with the exception of the Declarant. Class A members

shall be entitled to one (1) vote for each Lot in which they hold the interest required for membership by Article Three. When more than one (1) person holds such interest in any Lot, all such persons shall be members. The vote for such Lot shall be exercised as they among themselves determine, but in no event shall more than one (1) vote be cast with respect to any Lot. Owners shall not be entitled to vote until their Lot is subject to assessment.

3.2.2 Class B. The Class B member shall be the Declarant. The Class B member shall be entitled to thirty-four (34) votes for each Lot in which it holds the interest required for membership by Article Three, provided that the Class B membership shall cease and be converted to Class A membership when the total votes outstanding in the Class A membership equal or exceed the total votes outstanding in the Class B membership.

Section 3.3. Association's Board of Directors. The business of the Property Owners' Association shall be managed by its Board of Directors. The initial number of directors shall be three (3). Declarant shall appoint said initial directors, who are not required to be Lot Owners, until such time as ninety percent (90%) of the Lots are independently owned. At that time, the Directors shall be elected annually by and from the membership with voting privileges as set forth in Article Three, Section 3.2.

Section 3.3. Association's Authority. The Association shall have the authority and responsibilities as set forth herein.

Section 3.4. Association Organizational Documents. The Declarant shall prepare and adopt the initial organizational documents and entity form for the Association which shall be binding upon the Owners unless amended or abrogated according to their terms.

ARTICLE FOUR COVENANTS FOR MAINTENANCE ASSESSMENTS

Section 4.1. Creation of the Lien and Personal Obligation of Assessments. The Declarant, for each Lot owned within the Properties, hereby covenants, and each Owner of any Lot by acceptance of a deed therefore, whether or not it shall

be so expressed in any such deed or other conveyance, is deemed to covenant and agree to pay to the Association; (i) annual assessments or charges, and (ii) special assessments for capital improvements, such assessments to be fixed, established, and collected from time-to-time as hereinafter provided. The annual and special assessments, together with such interest thereon and costs of collection thereof, as hereinafter provided shall be a charge on the land and shall be a continuing lien upon the property against which each such assessment is made. Each such assessment, together with such interest, costs, and reasonable attorney's fees shall also be the personal obligation of the person who was the Owner of such property at the time when the assessment fell due. The personal obligation shall not pass to his successors in title unless expressly assumed by them, but shall remain a lien upon the Lot or Lots against which the assessments are made.

Section 4.2. Purpose of Assessments. The assessments levied by the Association shall be used exclusively for the purpose of promoting the recreation, health, safety, and welfare of the residents in the Properties and in particular for the improvement and maintenance of the Properties, services, and facilities devoted to this purpose and relating to the use and enjoyment of the homes situated upon the Properties. The assessments levied by the Association shall also be used to cover the expenses related to the ownership, maintenance, and use of the Common Areas including a community garden, community pavilion and fireplace area adjacent to the main green, and other similar common area amenities developed for community use. The Assessments shall also be used to fund the ongoing maintenance and upkeep of the private Roads, Streets and Common Areas for parking shown on the Plat, and for the provision of curbside private refuse collection services within the Properties. The Assessments shall be used for the mowing, upkeep and maintenance of all landscaping within the Properties. The Assessments shall also be used to maintain all storm water management systems located on the Property in accordance with the approved and installed original design plans.

Section 4.3. Basis of Annual Assessments. The initial annual assessment shall be set at TWO THOUSAND T AND NO/100 DOLLARS (\$2,000.00) per Lot, and shall commence upon the conveyance of a Lot from the Declarant and shall be prorated for the remainder of the assessment year from the time of such conveyance. Thereafter, upon a unanimous vote of the Board of Directors the annual assessment may be increased to an amount in excess of TWO

THOUSAND AND NO/100 DOLLARS (\$2,000.00) per Lot in order to meet current and future maintenance costs and operational responsibilities.

Section 4.4. Special Assessments for Capital Improvements. In addition to the annual assessments authorized above, the Board of Directors shall have the authority as provided by Section 55-514 of the Code of Virginia, as amended, to levy in any assessment year a special assessment applicable to that year only, if the purpose in so doing is found by the Board to be in the best interests of the Association. A special assessment must have the assent of two-thirds (2/3) of the votes of each class of members who are voting in person or by proxy at a meeting duly called for this purpose, written notice of which shall be sent to all members in accordance with the Association's bylaws. Pursuant to Section 55-514 of the Code of Virginia, as amended, a special assessment may be rescinded or reduced upon a majority of votes of each class of members who are voting in person or by proxy at a meeting duly called for this purpose, written notice of which shall be sent to all members in accordance with the Association's bylaws; provided that such meeting to rescind or reduce the special assessment is held within sixty (60) days of notice of the meeting.

Section 4.5. Declarant Exempt from Assessment. Declarant shall not be assessed on any Lots owned by it, either for regular annual or special assessments. This exception from Declarant assessments shall not apply to any Lot held by Declarant for investment purposes, where the Lot contains a completed structure with an issued occupancy permit, and the Lot is rented to a third party under a lease or other agreement where the Declarant receives income from the owned Lot.

Section 4.6. Uniform Rate of Assessment. Both annual and special assessments must be fixed at a uniform rate for all Lots and may be collected on an annual basis. Special assessments shall not be made more than once per year and shall not exceed fifty percent (50%) the amount of the annual assessments. However, special assessments may be spread over several annual periods subject to this limitation to cover substantial capital cost items which are the responsibility of the Association.

Section 4.7. Date of Commencement of Annual Assessment; Due Dates. The annual assessments provided for herein shall commence as to each Lot upon

the conveyance of the Lot from the Declarant. The first annual assessment shall be prorated according to the number of months remaining in the calendar year. The Board of Directors shall fix the amount of the annual assessment against each Lot at least thirty (30) days in advance of each annual assessment period. Written notice of the annual assessment shall be sent to every Owner subject thereto. The Association shall upon demand at any time furnish a certificate in writing signed by an officer of the Association setting forth whether the assessments on a specified Lot have been paid. A reasonable charge may be made by the Board of Directors for the issuance of these certificates. Such certificate shall be conclusive evidence of payment of any assessment therein stated to have been paid.

Section 4.8. Effect of Nonpayment of Assessment; Remedies of the Association. Any assessments which are not paid when due shall be delinquent. If the assessment is not paid within thirty (30) days after the due date, the assessment shall bear interest from the date of delinquency at the current legal rate, and the Association may bring an action at law against the Owner personally obligated to pay the same, or may perfect the lien against the property, pursuant to Section 55-516 of the Virginia Code. Interest, costs, and reasonable attorney's fees of any such action shall also be added to the amount of such assessment. No Owner may waive or otherwise escape liability for the assessments provided for herein by abandonment of his Lot.

Section 4.9. Subordination of the Lien to Deeds of Trust. Pursuant to Section 55-516 of the Code of Virginia, as amended, the lien of the assessments provided for herein shall be subordinate to (i) real estate tax liens on the Lot, (ii) liens and encumbrances recorded prior to the recordation of the Declaration, and (iii) sums unpaid on and owing under any mortgage or deed of trust recorded prior to the perfection of said lien; provided, however, that mechanics' and materialmen's liens shall not be affected by this Section 4.9. Sale or transfer of any Lot shall not affect the assessment lien. However, the sale or transfer of any Lot, which is subject to any deed of trust, pursuant to a deed of foreclosure thereof, shall extinguish the lien of such assessments as to payments thereof which became due prior to such sale or transfer. No sale or transfer shall relieve such Lot from liability for any assessment thereafter becoming due or for the lien thereof.

Section 4.10. Exempt Property. The following property subject to this Declaration shall be exempt from the assessments created herein: (i) all Properties dedicated to and accepted by a local public authority and (ii) all Properties owned by a charitable or nonprofit organization exempt from taxation by the laws of the State of Virginia. However, no land or improvements devoted to dwelling use shall be exempt from said assessments.

ARTICLE FIVE EXTERIOR MAINTENANCE

The Association shall exercise its authority and fulfill its responsibilities as set forth herein. To this end, it shall have the power to levy assessments as herein contained and in accordance with the organizational documents of The Collicello North Homeowners Association. The Association shall maintain full and exclusive responsibility for common area and Lot lawn maintenance, mowing and landscaping for all Lots within the Properties.

In the event an Owner of any Lot shall fail to maintain the premises and the improvements situated thereon in a manner satisfactory to the Board of Directors of The Association, after approval by two-thirds (2/3) decision of the Board of Directors, the Association shall have the right, through its agents and employees, to enter upon said parcel and repair, maintain, and restore the Lot and the exterior of the buildings and any other improvements erected thereon. The cost of such exterior maintenance shall be added to and become part of the annual assessment to which such Lot is subject, and the expense of such exterior maintenance shall become a lien upon the subject property. It is a condition of these Covenants that the Association, is and shall be, deemed a general contractor for the purpose of qualifying to file a mechanic's lien, and every Lot Owner so in default, by the acceptance of his/her deed, and those claiming under him/her, hereby agrees to pay such expense, and grants permission to the Association, to enter upon such Lot and make such exterior maintenance without being guilty of trespass, and said Association, its agents and employees, shall not be liable in damages to any Lot Owner except for willful and tortuous acts committed beyond the scope hereof. Any assessments under this paragraph and the preceding paragraph hereof, shall constitute liens and shall be subject to the provisions of Section 55-516 of the Code of Virginia, as amended.

ARTICLE SIX
USE RESTRICTIONS

1. No Lot shall be used, except for residential purposes, or for Declarant, or Declarant's agents' construction sheds and sales and administrative offices during the construction and sales period, and not more than one (1) principal building shall be permitted on any residential Lot shown on said plat, and no such Lot shall be resubdivided. The Declarant shall not be subject to the restriction on resubdivision set forth herein. The existing building at 919 Collicello Street shall be exempt from this restriction, and may be used for commercial, professional office or other uses permitted by the Master Plan for the project. If permitted by Harrisonburg Zoning Ordinance, "D" style units shall also be exempt from this restriction in that they may contain live/work businesses permitted by the Harrisonburg Zoning Ordinance.

2. No building, freestanding garage, storage shed, trailer, tent, or other structure may be erected, built, or permitted to remain on any Lot other than one (1) single family dwelling unless the HOA decides to provide approved option(s). Declarant may erect detached garages on Lots as part of its development of the Properties. The structure and Lot at 919 Collicello Street shall be exempt from this restriction.

3. No utility trailer, boat, house camper, recreational vehicle, trailer, bus, commercial equipment, disabled or unlicensed vehicle or material portion thereof, or commercial vehicle larger than three-fourths (3/4) of a ton, may be parked on any street or parking area, or Lot within said land area, unless, in the case of commercial equipments, it shall be temporarily within such subdivision for the purpose of performing work therein.

4. No noxious or offensive use of activity shall be carried on upon any Lot, street or parking area, nor shall any practice be engaged in by the Owners of the Lots, their tenants, agents, guests, or assigns, that shall become an annoyance or a nuisance to the neighborhood. The Association shall have the right to determine and enforce this restriction.

5. No exterior clothesline or hanging device shall be allowed upon any Lot, and no antenna shall project above the surface of the roof. The type and placement of all antennae, satellites or other wireless receiving equipment of any nature must be approved in advance by the Architectural Control Committee.

6. No swimming pools, above or below ground shall be permitted at any time on any Lot.

7. No sign of any kind shall be displayed on any Lot, except one (1) sign of not more than four (4) square feet advertising the property for sale or rent, except signs used by the Declarant and its agents to advertise the property during the construction and sales period. The structure and Lot at 919 Collicello Street shall be exempt from this restriction.

8. No animals, livestock, or poultry of any kind shall be raised, bred, or kept on any Lot, except that dogs, cats or other usual household pets may be kept, provided that they are not kept, bred, or maintained for commercial or charitable purposes, or in unusual numbers. All household animals kept on a Lot must be housed indoors. All domestic animals shall be kept on a leash while on the streets or Common Areas on the Properties. Owners and their guests shall be responsible for collection and proper disposal of animal waste on the Property, including the Streets and Common Areas therein, or be subject for charges or fines for the clean-up of said waste.

9. No trash, garbage, or other refuse shall be burned upon any Lot except within the interior of the residence, except that the Declarant or its agents may burn debris for the purpose of cleaning the land or preparing any dwelling for occupancy. No trash garbage or refuse shall be stored outside of any residence, and all trash collection receptacles shall be placed at the curb no earlier than 4 PM on the day before schedule pick-up service, and shall be removed and stored indoors no later than 7PM on the day of pick-up service.

10. No hedge shall be planted or permitted to grow over three and one-half (3½) feet high along any property or Lot line, nor shall any growth be permitted by any Owner or tenant to extend beyond his property line.

11. All improvements to Lots approved by the Architectural Control Committee shall be completed within six (6) months of the commencement of construction thereof.

12. The Association shall be responsible for snow removal from any private streets shown on the Plat, until such streets are accepted by VDOT or the City of Harrisonburg as part of the public streets maintenance program. The Association shall also be responsible for snow removal from the abutting sidewalks, and Lot Owners' driveways. Snow removal from patios, courtyards, porches and other areas of Lots shall be the responsibility of the Lot Owner.

13. The Association shall be responsible for cutting of all grass, weed removal, mulching, plant, and tree/shrub maintenance and replacement for all Lots, streets, and Common Area portions of the Property.

14. The Association shall be responsible for the removal of Lot Owner's trash and refuse. Trash removal services provided via the Association shall be curbside pickup, and all Lot Owners shall abide by any regulations relating to said curbside refuse services. *This may modify based upon final arrangements*

15. The Association shall maintain and fund via the regular Annual Assessments utility charges and maintenance for street lighting on the Property. Declarant will install the initial street lighting.

16. The use of the Common Areas, including the Common Areas designated for parking, is exclusively reserved to the Owners and their guests and subject to regulation and control by the Association. The Association may adopt rules and regulations from time-to-time governing the use rights of the Owners in the Common Areas and improvements placed thereon. The Declarant will install the initial Common Area structures and improvements, and the community entrance area sign, fencing, and landscaping, which Common Area improvements and structures shall subsequently be maintained by the Association.

17. Every violation of the covenants contained herein is hereby declared to be and constitutes a nuisance, and every remedy allowed by law or equity

against a nuisance, either public or private, shall be applicable thereto, and such remedies shall be deemed cumulative and not exclusive.

18. Inasmuch as the enforcement of the provisions hereof is deemed essential for the implementation and preservation of the general plan of development, and for the protection of the undersigned and all of the Declarant, Owners and inhabitants of said subdivision, it is hereby declared that any violation of the provision hereof shall constitute irreparable harm not adequately compensable by recovery of damages, and any person, firm, or corporation shall be entitled, in addition to all other remedies, to relief by way of injunction for enforcement of the provisions hereof.

19. The cost and expenses incidental to the abatement of any violation hereof, and the removal and correction of any offending structure or condition shall be paid by the Owners of the offending Lot, and the amount thereof until paid shall constitute a lien upon such offending property, in favor of Association, inferior only to such liens as prescribed in Section 55-516 of the Code of Virginia, as amended.

ARTICLE SEVEN
RESERVED

ARTICLE EIGHT
EASEMENTS

Section 8.1. Utility Easements. Easements for installation and maintenance of utilities, walkways, driveways, drainage facilities, sanitary sewer, water line, street lights, and community entrance sign and fencing and access to all Lots are reserved as shown or described on the Plat and designated thereon respectively as Public or Private Drainage, Utility, Sanitary Sewer, Stormwater, Public Sidewalk and Waterline Easements. Easements for utilities and maintenance of utilities are reserved over the Lots in the Collicello North development as necessary for the benefit of said Lots, said locations to be designated by Declarant. Within these easements, no structure, planting, or other material shall be placed or permitted to remain which may obstruct or interfere with the installation and maintenance of said utilities or which may obstruct or interfere with the installation and maintenance of said utilities or access to Lots. The easement area within each Lot shall be maintained constantly by the Owner of said Lot, except those easements for which a public authority, utility company, or municipality is responsible. Owners acknowledge and agree that said Easements may be subject to the requirements of the City of Harrisonburg for public easements in place and adopted by the City from time-to-time. The Declarant and Association shall also retain all responsibility for the maintenance of all storm water management systems located on the Property in accordance with the approved and installed original design plans, whether the same are contained within easements on Lots or contained within the Common Areas.

Section 8.2. Reserved. *This section to be used for other specific easement shown and designated on the final subdivision plat*

Section 8.3. Landscaping Easement. An Easement for landscaping is reserved across all Lots and Common Areas as shown on the Plat recorded herewith. Within this easement Declarant shall plant the original landscaping. Within this easement, no structure, planting, or other material shall be placed by an Owner or permitted, by an Owner, to remain, which may obstruct or interfere with the planting and maintenance of said vegetation. Provided, however, that the Declarant or the Association may do additional landscaping within this Easement. The Association shall, after the initial planting is complete, be responsible for the care, pruning, and replacement of this vegetation, as it is

needed. Therefore, the Association, its agents and assigns, may enter on the Lots over which this easement lies for the purposes aforesaid. The Owner shall not prune, replace, or harm this vegetation. This easement shall be perpetual and shall run with the land.

Section 8.4. Easements of the Association. There is hereby reserved to the Association such easements as are necessary to perform the duties and obligations of the Association, including such access easements as are necessary for ingress, egress, and maintenance of the Common Areas and Landscaping Easements.

Section 8.5. Pipes, Ducts, Cables, Wires, Conduits. Each Owner shall have an easement in common with the Owners of all other Lots to use pipes, wires, ducts, cables, conduits, telephone, and public utility lines. The Association, its agents, the City of Harrisonburg, and such telephone, electric, and other utility companies as may be appropriate, but no other person or entity without the consent of the Owner, shall have the right of access to each Lot to inspect the same, to remove violations therefrom, and to maintain, repair, or replace same.

Section 8.6. Priority of Easements. Each of the easements hereinabove referred to shall be deemed to be established upon the recordation of this Declaration and shall run with the land for the use and benefit of the Lots superior to all other encumbrances which may hereafter be applied against or in favor of the Properties, Lots or any portion hereof.

Section 8.7. Declarant's Easements to Correct Drainage. For a period of ten (10) years from the date of submission of each Lot to this Declaration, the Declarant reserves an easement and right on, over, and under the ground within each Lot to maintain and to correct drainage of surface water in order to maintain reasonable standards of health, safety, and appearance. Such right expressly includes the right to cut any trees, bushes, or shrubbery, to perform any grading of the land, or to take any other similar action reasonably necessary, following which the Declarant shall restore the affected property to its original condition as nearly as is practicable. The Declarant shall give reasonable notice of intent to take such action to all affected Owners, unless in the opinion of the Declarant an emergency exists which precludes such notice.

Section 8.8. Construction Easements and Rights. Notwithstanding any provision of this Declaration or of any Supplementary Declaration, so long as the Declarant or builders are engaged in developing or improving any portion of the Properties, the Declarant and builders and their employees, agents, and assigns shall have an easement of ingress, egress, and use over any portion of the Properties not conveyed as a Lot to an Owner for occupancy for (i) movement and storage of building materials and equipment, (ii) erection and maintenance of directional and promotional signs, and (iii) conduct of sales activities, including maintenance of model Units. Such easement shall be subject to such rules as may be established by Declarant to maintain reasonable standards of safety, cleanliness, and general appearance of Properties.

Section 8.9. Easement to Inspect. There is hereby created an easement in favor of the Association for ingress and egress on any Lot (i) to inspect such property for alleged violations of the Governing Documents, based on formal, written complaints, and/or compliance with architectural standards and/or approved plans for alterations and improvements and (ii) to perform such maintenance as is required by this Declaration or the Supplementary Declaration for such Lot, provided the Owner of such Lot is given written notice of the purpose and time of inspection at least three (3) days in advance thereof and such inspection is performed during reasonable hours.

Section 8.10. Easement for Governmental Personnel. A right of entry on any Lot or Common Area is hereby granted to law enforcement officers and fire and rescue personnel as is needed to carry out their duties, including enforcement of cleared emergency vehicle access.

Section 8.11. Common Area Access or Use Easements. There is created a joint easement appertaining to all Lots for ingress, egress, and use of the Common Area, including the Common Areas designated for parking, created and described herein and on the Plat. Said easement of use and enjoyment of the Common Area by Owners shall be subject to the rights granted to the Association hereunder to control and manage maintenance use of the Common Areas. These joint easement rights granted hereunder also include the right to ingress and egress to the Common Area.

Section 8.12. Easement for Ingress and Egress over Private Streets. There is hereby created for all Lot Owners, the Declarant and the Association their heirs, successors, and assigns, a non-exclusive easement for ingress and egress over and across all Private Streets, Roads and Common Areas shown for parking, as shown on the Plat. Said easement of Ingress and Egress shall also be reserved to the reasonable and customary use of guests, invitees and service providers of Lot Owners, the Declarant and the Association. The reasonable regulation of the private Streets, Road and Common Areas for parking shall be governed by the Developer and the Association at their discretion.

Section 8.13. Parking Easement. There is hereby created for the benefit of each Lot Owner, the Declarant and the Association a non-exclusive and mutual easement for parking, and the same is hereby granted by the Declarant over all portions of the Common Areas shown for parking areas. Said parking easement shall be subject to the reasonable and ongoing regulation of the Declarant and/or the Association to preserve the equitable and efficient use of said parking areas amongst all the Owners, the Declarant and the Association for their uses.

Section 8.14. Other Improvements. The Developer at a minimum will install for the mutual benefit of the Lot Owner's and the Association, the improvements shown on the Plat. The Developer will also install and maintain a mail service area serving all residents of the community. This mail service will generally be located in or near the mixed-use area and be maintained continuously through the different construction phases until such time that its location can be made permanent after the final construction phase. Said improvements will be installed by the Developer in the Common Area administered by the Association. Said improvements shall be installed and completed no later than the time when 80% of the Lots are sold to third party purchasing Owners. Said improvements shall be for the mutual, non-exclusive use and benefit of the Owners, Developer and Association, and shall be governed by rules adopted for their use by the Developer and the Association.

ARTICLE NINE
GENERAL PROVISIONS

Section 9.1. Enforcement. The Association, or any Owner, shall have the right to enforce, by any proceeding at law or in equity, all restrictions, conditions, covenants, reservations, liens, and charges now or hereafter imposed by the provisions of this Declaration. Failure by the Association or any Owner to enforce any covenant or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter.

Section 9.2. Severability. Invalidation of any one (1) of these covenants or restrictions by judgment or court order shall in no way affect any other provisions which shall remain in full force and effect.

Section 9.3. Amendment. The covenants and restrictions of this Declaration shall run with and bind the land, and shall inure to the benefit of and be enforceable by the Association, or the Owner of any Lot subject to the Declaration, their respective legal representatives, heirs, successors, and assigns, for a term of twenty (20) years from the date this Declaration is recorded, after which time said covenants shall be automatically extended for successive periods of ten (10) years. The covenants and restrictions of this Declaration may be amended during the first twenty (20) year period by an instrument signed by not less than ninety percent (90%) of the Lot Owners, and thereafter by an instrument signed by not less than seventy-five percent (75%) of the Lot Owners. Any amendment must be properly recorded. The Declarant, or its successors and assigns, (not including the Association as successor hereunder) reserves the full and exclusive right to amend or supplement this Declaration at any time, in any fashion, at its discretion without the consent of the Members, the Owners or any other party.

Section 9.4. Rules and Regulations. The Declarant and the Association reserve the full right and authority to develop, adopt and enforce rules and regulations governing the development to insure the economic value and rights of the Developer to build, market and sell the development, and the ability to control and regulate activities on the Properties to insure the quality of life, property values and the orderly operation of the development. The adoption and operation of such rules and regulations, to the extent not defined herein, shall be governed by Virginia Code Section 55-513.

[The remainder of this page was intentionally left blank.]

IN WITNESS WHEREOF, Kin Group, LLC, (Declarant),
_____ Bank, and its Trustee, have caused this Declaration to be
duly executed this ____ day of _____, 2013.

KIN GROUP, LLC a Virginia limited
liability company

By: _____
_____, <Title>

COMMONWEALTH OF VIRGINIA,
CITY OF HARRISONBURG, to-wit:

The foregoing instrument was acknowledged before me this ____ day
of _____, 2013, by _____, <Title>
of Kin Group, LLC, a Virginia limited liability company, on behalf of said
Corporation.

My Commission expires: _____.

Notary Public

BANK, NOTEHOLDER

By: _____

COMMONWEALTH OF VIRGINIA,
CITY OF _____, to-wit:

The foregoing instrument was acknowledged before me this ____ day of _____, 2013, by _____ Vice President of _____ BANK, a Virginia corporation, on behalf of said Corporation, Noteholder.

My Commission expires: _____.

Notary Public

, TRUSTEE

By: _____

Its: _____

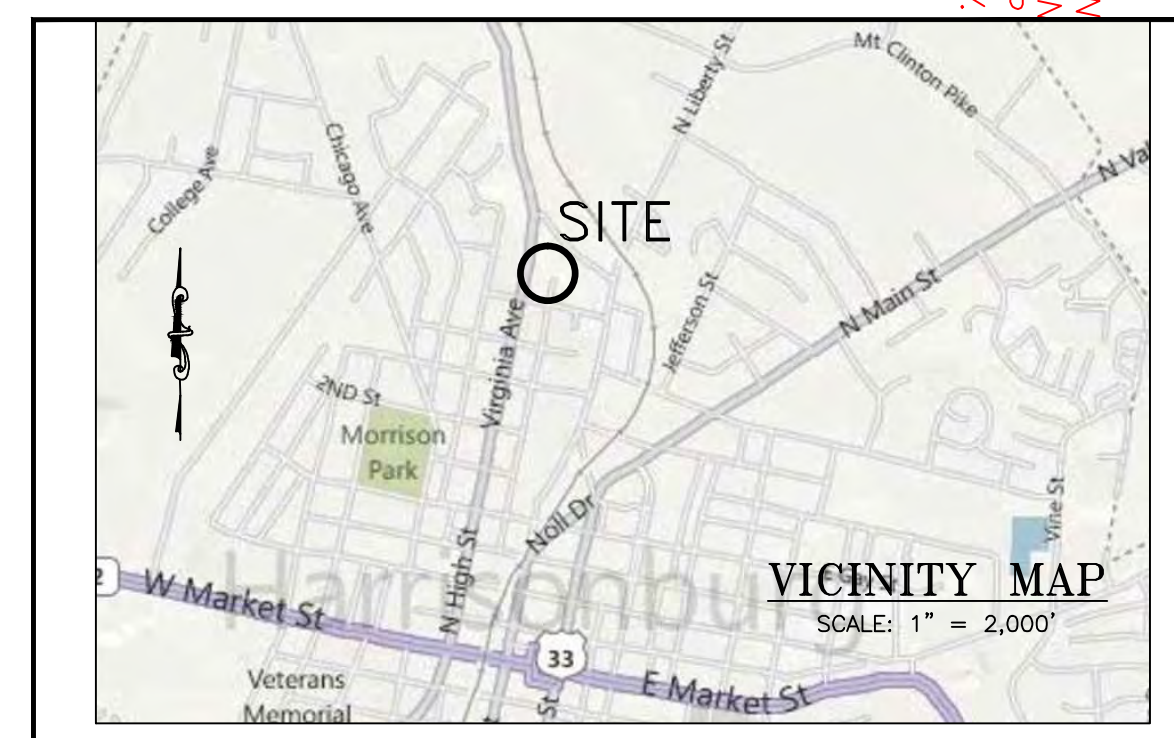
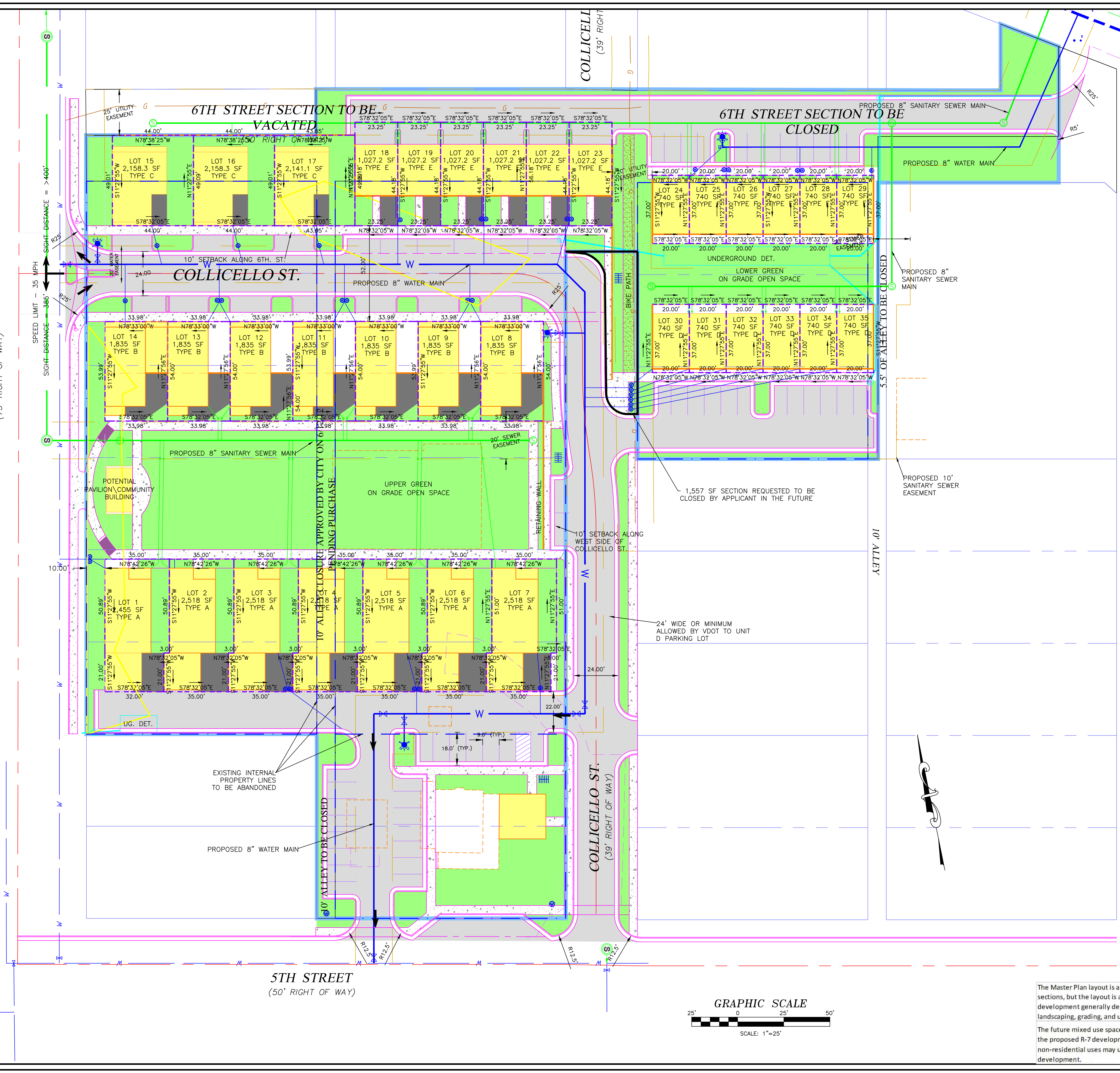
STATE OF _____,
CITY/COUNTY OF _____, to-wit:

The foregoing instrument was acknowledged before me this ____ day of _____, 2013, by _____, _____ of _____ a _____ corporation, on behalf of said Corporation, Trustee.

My Commission expires: _____.

Notary Public

STATE ROUTE 42 NORTH HIGH STREET/VIRGINIA AVENUE
(75' RIGHT OF WAY)



R-7 NOTES

35 SINGLE FAMILY ATTACHED (18 - 51.4%) & DETACHED HOMES (17 - 48.6%)
1 MIXED-USE BUILDING

SITE: 128,841 sf
2.96 acres

35 UNITS MAXIMUM

RESIDENTIAL DENSITY: 12.0 DWELLING UNITS/ACRE

OPEN SPACE: 20,398 SF (0.468 AC)
15.8%

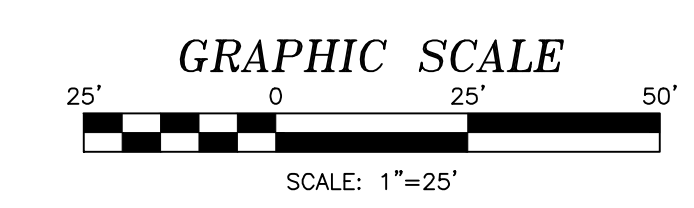
SETBACKS: ALL SETBACKS ARE ZERO MINIMUM, EXCEPTING 10' MINIMUM WHEN ADJACENT TO PUBLIC STREET.

PARKING:
1 SPACE PER SINGLE FAM. DETACHED
1 1/2 SPACES PER SINGLE FAMILY ATTACHED (1 BEDROOM)
2 1/2 SPACES PER SINGLE FAMILY ATTACHED (2-3 BEDROOM)

A PROPERTY OWNERS' ASSOCIATION SHALL BE ESTABLISHED TO PROVIDE OWNERSHIP, CARE, AND MAINTENANCE OF ALL COMMON OPEN SPACE AREAS AND OTHER COMMON FACILITIES AND IMPROVEMENTS.

LEGEND

--- (Center Line)	CENTER LINE
--- (Site Boundary)	SITE BOUNDARY
--- (Electric/Telephone)	ELECTRIC/TELEPHONE
--- (Existing Utility Pole)	EXISTING UTILITY POLE
--- (Existing Light Poles)	EXISTING LIGHT POLES
--- (Proposed Utility Pole)	PROPOSED UTILITY POLE
--- (Water Lines)	WATER LINES
--- (Sanitary Force Main)	SANITARY FORCE MAIN
--- (Sanitary Lines)	SANITARY LINES
--- (Sanitary Cleanout)	SANITARY CLEANOUT
--- (Storm System)	STORM SYSTEM
--- (Proposed Ditch)	PROPOSED DITCH
--- (Existing Property Line)	EXISTING PROPERTY LINE
--- (Proposed Property Line)	PROPOSED PROPERTY LINE
--- (Setback Line)	SETBACK LINE
--- (Easement Line)	EASEMENT LINE
--- (Existing Building)	EXISTING BUILDING
--- (Proposed Building)	PROPOSED BUILDING
--- (Proposed Road/EOP)	PROPOSED ROAD/EOP
--- (Proposed Parking)	PROPOSED PARKING
--- (Existing Parking)	EXISTING PARKING
--- (Curbing: CG-6 or CG-7)	CURBING: CG-6 OR CG-7
--- (Curbing: CG-2 or CG-3)	CURBING: CG-2 OR CG-3
--- (Handicap Parking)	HANDICAP PARKING
--- (Dumpster)	DUMPSTER
--- (Existing Fire Hydrant)	EXISTING FIRE HYDRANT
--- (Proposed Fire Hydrant)	PROPOSED FIRE HYDRANT
--- (Fire Department Conn.)	FIRE DEPARTMENT CONN.
--- (Water Valve)	WATER VALVE
--- (Water Meter)	WATER METER
--- (Existing Fence Line)	EXISTING FENCE LINE
--- (Proposed Fence)	PROPOSED FENCE
--- (Pavers)	PAVERS
--- (Concrete Paving)	CONCRETE PAVING
--- (Gravel)	GRAVEL
--- (Light Pavement)	LIGHT PAVEMENT
--- (Grass Area)	GRASS AREA
--- (Slopes >15%)	SLOPES >15%
--- (Bike Rack)	BIKE RACK
--- (Right-of-Way Given to City)	RIGHT-OF-WAY GIVEN TO CITY

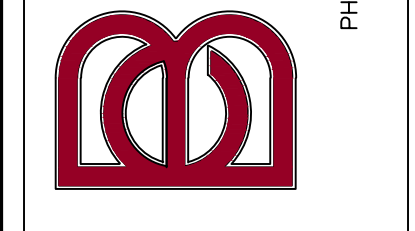


The Master Plan layout is a graphic depiction of the Zoning Regulation sections, but the layout is a governing detail of the Collicello North development generally depicting where roads, buildings, sidewalks, landscaping, grading, and utilities will be provided.

The future mixed use space as shown is less than 10% of the total area of the proposed R-7 development. However, if it can be accommodated, non-residential uses may utilize the maximum permitted 10% of the development.

Date: JUNE 2013
Scale: AS SHOWN
Designed by: EHB
Drawn by: JRC
Checked by: EHB

BLACKWELL ENGINEERING, PLC
366 East Market Street
Harrisonburg, Virginia 22801
PHONE: (540)432-9555 FAX: (540)434-7604
E-Mail: BE@blackwellengineering.com



Revision Dates

MASTER PLAN
COLLICELLO NORTH
KIN GROUP, LLC
5782 GREENHILL ROAD
LINVILLE, VA 22834

Drawing No.
1
of 2 Sheets

Job No. 2266

Date: JUNE 2013
 Scale: AS SHOWN
 Designed by: EHB
 Drawn by: JRC
 Checked by: EHB

BLACKWELL ENGINEERING, PLC
 586 East Market Street
 Harrisonburg, Virginia 22801
 PHONE: (540)432-9555 FAX: (540)434-7604
 E-Mail: B@BlackwellEngineering.com

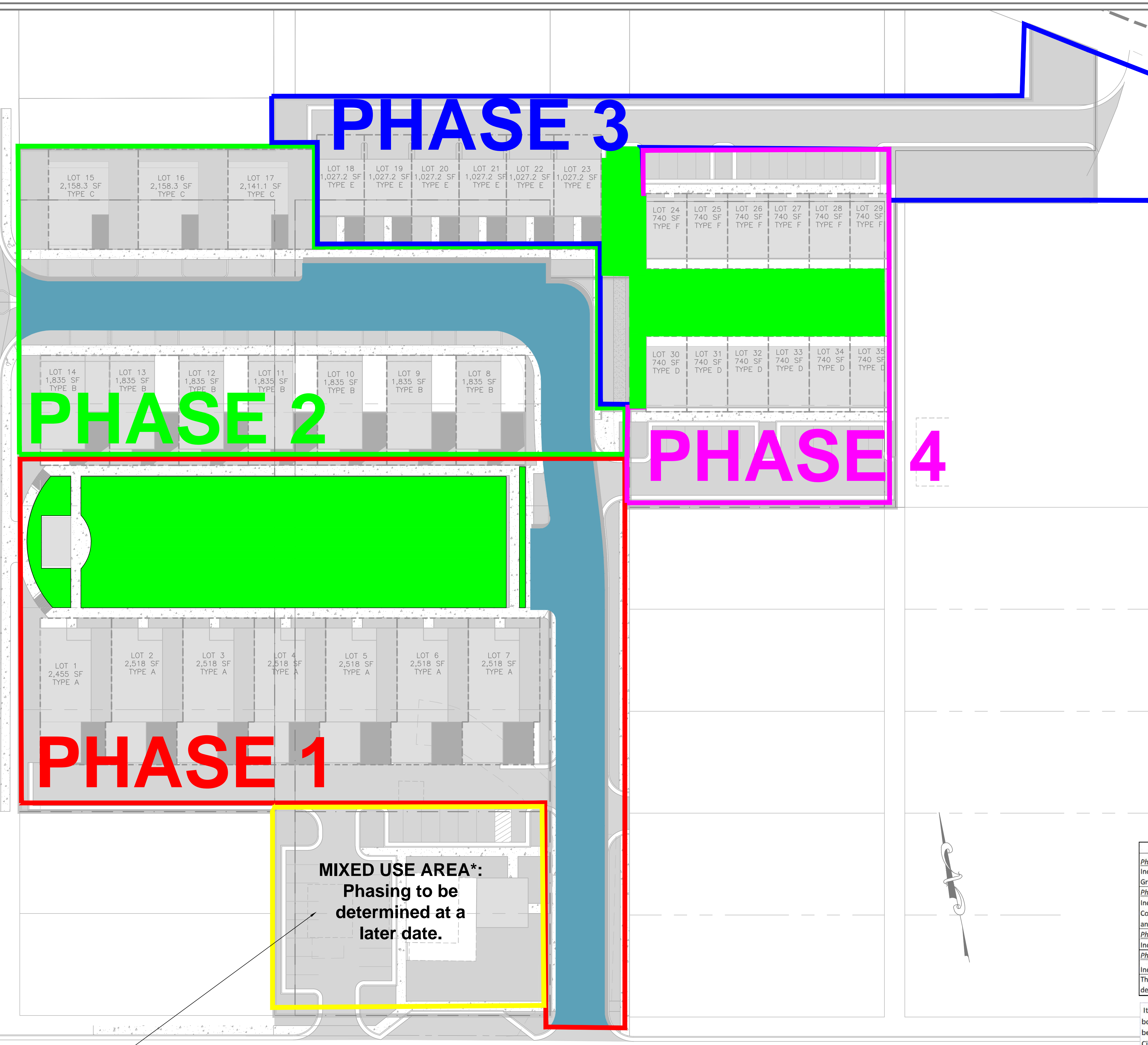



Revision Dates

APPENDIX B
 COLLICELLO NORTH
 KIN GROUP, LLC
 5782 GREENHILL ROAD
 LINNILLE, VA 22834

Drawing No.
2
 of 2 Sheets

Job No. 2266



- LEGEND**
- CENTER LINE
 - - - SITE BOUNDARY
 - E/T- ELECTRIC/TELEPHONE
 - o EXISTING UTILITY POLE
 - o EXISTING LIGHT POLES
 - o PROPOSED UTILITY POLE
 - W WATER LINES
 - FM SANITARY FORCE MAIN
 - o SANITARY LINES
 - o SANITARY CLEANOUT
 - o STORM SYSTEM
 - o PROPOSED DITCH
 - G GAS LINES
 - - - EXISTING PROPERTY LINE
 - - - PROPOSED PROPERTY LINE
 - - - SETBACK LINE
 - - - EASEMENT LINE
 - █ EXISTING BUILDING
 - █ PROPOSED BUILDING
 - █ PROPOSED ROAD/EOP
 - █ PROPOSED PARKING
 - █ EXISTING ROAD
 - █ EXISTING PARKING
 - █ CURBING: CG-6 OR CG-7
 - █ CURBING: CG-2 OR CG-3
 - █ HANDICAP PARKING
 - █ DUMPSTER
 - █ EXISTING FIRE HYDRANT
 - █ PROPOSED FIRE HYDRANT
 - █ FIRE DEPARTMENT CONN.
 - █ WATER VALVE
 - █ WATER METER
 - █ EXISTING FENCE LINE
 - █ PROPOSED FENCE
 - █ PAVERS
 - █ CONCRETE PAVING
 - █ GRAVEL
 - █ LIGHT PAVEMENT
 - █ GRASS AREA
 - █ SLOPES >15%
 - █ BIKE RACK
 - █ RIGHT-OF-WAY GIVEN TO CITY
 - █ COMMON AREAS

Phasing Table

Phase	Description
Phase 1	Includes (7) Type A units with patios & courtyards, asphalt driveway from Collicello Street, Upper Green common area with sidewalks, retaining wall and steps along Virginia Avenue, retaining wall
Phase 2	Includes (7) Type B units with patios & courtyards, sidewalks, retaining walls, and completion of Collicello Street all the way to Virginia Avenue (includes curb & gutter, driveways & planting areas, and parking spaces).
Phase 3	Includes one building of (6) units, private drive to Edom Road, and bike and pedestrian path.
Phase 4	Includes two buildings of (6) units each, private drive and parking areas, sidewalks and Lower Green. The nonresidential mix-use area is an integral component to the neighborhood and will be developed at the earliest possibility.

It is the developers preference to build the street and infrastructure needed to complete both Phase 1 and Phase 2 in immediate sequence. If it is determined there will be a gap between the two phases then a temporary Turn-A-Round will be provided according to the City's DCSM: Table 3.1.9.

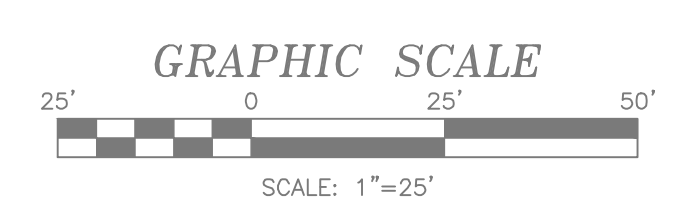
Parking Table

Building Type	Bedrooms	Spaces Required	Garage Spaces Provided	Non-Garage Parking Provided
A	3	7	14	0
B	3	9	14	6
C	2 or 3	3	6	3
D	1	9	0	12
E	2	18	12	6
F	1	9	0	12

* 22 Parking spaces provided for mixed use building at the southernmost section of development.
 ** 8 Public on-street parking spaces provided.
 *** The number of bedrooms per unit may change, however parking shall conform to Article G of the City Zoning Ordinance.

A mixed-use area has been designated at the corner of 5th and Collicello Streets. This area will include any of the following uses: Non-Residential as permitted by the district, Multi-Family Units, and/or any of the residential unit types listed in Table A or the existing single family detached structure. The existing structure will be maintained as is or renovated with new construction added or will be demolished and new building(s) constructed. Although the master plan illustrates 35 units, the total number and type of dwelling units is not known and will ultimately be determined by the finalized total square footage of the master planned R-7.

MIXED USE AREA*:
 Phasing to be determined at a later date.



TOTAL OPEN SPACE\COMMON AREA:
 20,398 SF (0.468 AC)
 15.8%

What is an R-7 Development? Information Sheet

The R-7 zoning district is intended to provide opportunities for the development of planned residential communities offering a mix of single-family detached units, single-family attached units, and in certain circumstances, multi-family units. R-7 communities are developed under an approved master plan that incorporates regulatory text for the communities. Aside from particular provisions of the Zoning Ordinance (ZO) that must be met, the approved master plan is the “zoning” by which the development must abide. The R-7 zoning district requires a minimum of two contiguous acres at the time of application, a minimum of 15 percent open/green space, and at least two types of residential housing types, where no one type can exceed 70 percent of all residential units. Maximum density is limited to 15 units per acre.

To date, the City has approved five R-7 master planned communities:

- Brookside Park located at Roberts Court, Drake Lane, and Suter Street, rezoned to R-7 in 2006, and then amended in 2007, 2011, and 2024;
- The Quarry located along Linda Lane and Smithland Road, rezoned to R-7 in 2007;
- Collicello North located along Collicello Street north of 5th Street, rezoned to R-7 in 2013;
- The Village at Chicago Park located along Saturday Drive, which is off of Chicago Avenue, rezoned to R-7 in 2014; and
- Bluestone Town Center, rezoned to R-7 in 2023 and then amended in 2025.

Last updated: April 1, 2026



April 8, 2026 Planning Commission Meeting

Title

Consider a request to rezone 919, 925, 955, 959, 963, 967, 975, 983, 991, & 922 Collicello Street and 172, 176, 180, 184, 188, 192, & 196 Kates Lane (Collicello North) (Master Plan Amendment) — Meg Rupkey, Community Development

Summary

Project name	Collicello North
Address/Location	919, 925, 955, 959, 963, 967, 975, 983, 991, & 922 Collicello Street and 172, 176, 180, 184, 188, 192, & 196 Kates Lane
Tax Map Parcels	40-H-1, 11, 17 through 30 & 40-I-16
Total Land Area	+/- 2.96 acres
Property Owner	Collicello North LLC
Owner’s Representative	Cottonwood Commercial, Litten and Sipe, and Propst Family Development LLC
Present Zoning	R-7, Medium Density Mixed Residential Planned Community
Proposed Zoning	R-7, Medium Density Mixed Residential Planned Community (Master Plan Amendment)
Planning Commission	April 8, 2026 (Public Hearing)
City Council	Anticipated May 12, 2026 (First Reading/Public Hearing) Anticipated May 26, 2026 (Second Reading)

Recommendation

Option 1. Recommend approval of the rezoning request.

Context & Analysis

The following land uses are located on and adjacent to the property:

Site: Vacant building and partially developed property, zoned R-7

North: Illegal junk yard, commercial use, and presumed nonconforming residential dwelling unit, zoned M-1

East: Presumed conforming and nonconforming residential dwelling units, zoned M-1 and R-2 and automobile repair shop, zoned M-1

South: Single-family detached dwellings, and across 5th Street, single-family detached dwelling units, zoned R-2

West: Across Virginia Avenue, repair shop and non-conforming single-family homes, zoned M-1, and a duplex structure, zoned R-2

Collicello North LLC is requesting to amend the 2013 approved master development plan for a development known as Collicello North. The +/- 2.96-acre site is zoned R-7, Medium Density Mixed Residential Planned Community District, is addressed as 919, 925, 955, 959, 963, 967, 975, 983, 991, & 922 Collicello Street and 172, 176, 180, 184, 188, 192, & 196 Kates Lane and are designated as tax map parcels 40-H-1, 11, 17 through 30 & 40-I-16.

This site was rezoned to R-7 in July 2013. The R-7 district is not a conventional zoning district as it requires a master plan. A document titled *What is an R-7 Development? Information Sheet* is attached herein for a reminder as to how R-7 zoning is implemented. If an approved Master Plan is to be modified, a rezoning to amend the Master Plan is required. A copy of the 2013 staff report and 2013 Collicello North Master Plan are attached.

Following the approval of the Collicello North Master Plan, the property owner received approval for variances to the Subdivision Ordinance (SO) Section 10-2-41(a) for right-of-way (ROW) width requirements, dedication of the sidewalk in the public ROW, the centerline radius and curves, curb radii, street K value, and intersection design. Additionally, a variance to SO Section 10-2-42(c) to provide lots without public street frontage was approved. Along with the SO variance requests, the property owner received approval of a preliminary plat that showed how the site would be subdivided. The Final Plat for Phase 1 was approved and recorded in early 2015. That plat included the dedication to public use of the extension of Collicello Street from 5th Street to Virginia Avenue. It also included the division of a portion of the overall property into Lots 1-14, Lot 35, and a Common Area parcel. An engineered comprehensive site plan (ECSP) was approved in 2014 and updated in 2015.

Following the approval of the ECSP, construction of infrastructure to serve a portion of the development began. At this time, some components of the infrastructure have been completed, while others have not. The public water and sewer lines to serve Phase 1 of the development have been completed and have been accepted by the City. Work to construct Collicello Street has not been completed. While not an exhaustive list, the street still lacks areas of sidewalk, curbing, handicap ramping, final surface paving, and final storm drainage work. Though the street right-of-way was dedicated to public use, the City does not assume responsibility for the street until it is complete and then the street is accepted for public maintenance.

Master Plan Amendments

The applicant is now requesting amendments to the approved Master Plan to allow greater flexibility in the final design and implementation of the development. Specifically, the request includes modifications to language related to solar requirements, final building designs, project phasing, the Property Owners' Association declaration, and transit facilities. The applicant has also removed references to previously identified aspirational elements and instead included those items in a new separate document to distinguish between required and optional features.

The 2013 Master Plan was approved for a mix of single-family detached dwellings, townhomes, and one duplex unit. The original Master Plan identified specific building design types. In the updated Master Plan, the applicant is requesting to remove the design types for the dwellings to provide flexibility in the overall construction of the dwelling units.

The original Master Plan required that all dwelling units be constructed with solar panels on each dwelling unit. The applicant is requesting to remove the requirement for solar panel installation and would instead construct all the dwelling units to be solar ready. At the time of construction, home buyers would have the option to have solar panels installed on the units. If a home buyer does not want to install solar panels at the time of purchase, the units would be solar ready if a future owner wanted to install panels.

Additionally, the 2013 Master Plan included a goal of providing a transit stop near the intersection of Collicello Street and 5th Street. At that time, the Department of Public Transportation indicated that such a stop would likely not be supported due to the proximity of an existing stop near 3rd and Collicello Streets. This assessment remains unchanged, and the applicant has removed this element from the Master Plan.

The applicant has also amended the Master Plan to remove the proposed phasing of the project to allow for flexibility of the construction process. Additionally, the Property Owners' Association declaration has been removed from the Master Plan to allow for future modifications by the community, should updates be necessary after project completion. The applicant has also removed Regulation #6 from the Master Plan section Zoning Regulations for Collicello North. Staff supports this removal, as Regulation #5, Table A, and the overall layout provide sufficient guidance for development.

Land Use

The Comprehensive Plan designates this site as Neighborhood Residential and states:

These areas are typically older residential neighborhoods, which contain a mixture of densities and a mixture of housing types, but should have more single-family detached homes than other types of housing. This type of land use highlights those neighborhoods in which existing conditions dictate the need for careful consideration of the types and densities of future residential development. Infill

development and redevelopment must be designed so as to be compatible with the desired character of the neighborhood.

Transportation and Traffic

A traffic impact analysis (TIA) was not required for the rezoning request.

Public Water and Sanitary Sewer

Staff has no concerns with the requested rezoning regarding water and sanitary sewer matters.

Housing Study

The City's Comprehensive Housing Assessment and Market Study (Housing Study) places the subject site within Market Type A. Among other things, this Market Type is characterized by high population growth. The study notes that Market Type A has "above median overall access to amenities such as public transit within walking distance, full-service grocery stores, and multiple parks and recreation facilities." The study also notes that "policies that are appropriate to Market type A areas include an emphasis on increasing density through zoning changes, infill development and housing rehabilitation to maintain the quality of housing."

Public Schools

The proposed rezoning and planned subdivision do not change the existing buildable potential of the subject property and thus does not impact the calculated student generation.

Conclusion

Staff believes that the amendments to the Master Plan do not change the overall intent of the approved Master Plan and would allow for flexibility for the final development. Staff recommends approval of the Master Plan amendments.

Options

1. Recommend approval of the rezoning request.
2. Recommend denial of the rezoning request.

Attachments

- Site maps
- Application and supporting documents
- 2013 staff report for the Collicello North Master Plan
- 2013 Collicello North Approved Master Plan
- *What is an R-7 Development?* Information Sheet



**CITY OF HARRISONBURG
COMMUNITY
DEVELOPMENT**

**Change of Zoning District
(Rezoning) Application**
www.harrisonburgva.gov/zoning

PROPERTY INFORMATION

919 Colicello St 04 H1 H17-30 2.96 MAC acres or sq.ft.
Property Address Tax Map Parcel/ID Total Land Area (circle)
Existing Zoning District: R7 Proposed Zoning District: R7
Existing Comprehensive Plan Designation: _____

PROPERTY OWNER INFORMATION

Kin Group LLC - Colicello North LLC _____
Property Owner Name Telephone
6322 Acker Ln - 649 Idlewild Dr _____
Street Address E-Mail
Fort Lauderdale
Liaville VA FL VA 22834
City State Zip

OWNER'S REPRESENTATIVE INFORMATION

Manny Fisher - Cottonwood Commercial _____
Owner's Representative Telephone
1962 Evelyn Byrd Avenue _____
Street Address E-Mail
Harrisonburg VA 22801
City State Zip

CERTIFICATION

I certify that the information supplied on this application and on the attachments provided (maps and other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of the City of Harrisonburg to enter the above property for the purposes of processing and reviewing this application. I also understand that, when required, public notice signs will be posted by the City on any property.

See next sheet

PROPERTY OWNER

DATE

REQUIRED ATTACHMENTS

- Letter explaining proposed use & reasons for seeking change in zoning.
- Statement on proffers, if applying for conditional rezoning.
- Survey of property or site map.
- Traffic Impact Analysis (TIA) Determination Form OR Traffic Impact Analysis (TIA) Acceptance Letter signed by Public Works Department. Applicant is responsible for coordinating with Public Works prior to submitting this application. For more information, visit www.harrisonburgva.gov/traffic-impact-analysis.

TO BE COMPLETED BY PLANNING & ZONING DIVISION

3/5/2026
Date Application and Fee Received
Meg Rupkey
Received By

Total Fees Due: \$ 610 (Paid)
Application Fee: \$550.00 + \$30.00 per acre



City of HARRISONBURG
COMMUNITY
DEVELOPMENT

Change of Zoning District
(Reroning) Application
www.harrisonburgva.gov/zoning

PROPERTY INFORMATION	
Property Address: 519 Colicello St	Tax Map Parcel ID: 04 H1 H17-30 2.96 MAC (Acres or sq ft)
Existing Zoning District: R7	Proposed Zoning District: R7
Existing Comprehensive Plan Designation:	
PROPERTY OWNER INFORMATION	
Property Owner Name: Kim Gowell - Colicello North LLC	[Redacted]
Street Address: 6322 Acker Ln - 649 Idlewild Dr	[Redacted]
City: Louisville KY	State: KY Zip: 40234
OWNER'S REPRESENTATIVE INFORMATION	
Owner's Representative: Manny Fisher - Cottonwood Commercial	[Redacted]
Street Address: 1958 Evelyn Byrd Avenue	[Redacted]
City: Harrisonburg	State: VA Zip: 22801
CERTIFICATION	
I certify that the information supplied on this application and on the attachment(s) provided (maps and other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of the City of Harrisonburg to enter the above property for the purposes of processing and reviewing this application. I also understand that, when required, public notice signs will be posted on the City-owned property.	
PROPERTY OWNER:	DATE: 3/4/26
REQUIRED ATTACHMENTS	
<input type="checkbox"/> Letter explaining proposed use & reasons for seeking change in zoning. <input type="checkbox"/> Statement on profiles, if applying for conditional rezoning. <input type="checkbox"/> Survey of property or site map. <input type="checkbox"/> Traffic Impact Analysis (TIA) Determination Form OR Traffic Impact Analysis (TIA) Acceptance Letter signed by Public Works Department. Applicant is responsible for coordinating with Public Works prior to submitting this application. For more information, visit www.harrisonburgva.gov/traffic-impact-analysis .	
TO BE COMPLETED BY PLANNING & ZONING DIVISION	
Date Application and Fee Received:	Total Fee Due \$: Application Fee: \$550.00 + \$30.00 per acre
Received By:	

Thanks,
Manny Fisher, Commercial Realtor
Cottonwood Commercial
1958 Evelyn Byrd Avenue
Harrisonburg, VA 22801

www.Cottonwood.com
Facebook: Manny Fisher

On Mar 4, 2026, at 4:51 PM, Al Thomas [Redacted] wrote:

[Quoted text hidden]

JORDAN K. BOWMAN

DIRECT DIAL
(540) 437-3058

EMAIL
jkb@littensipe.com

LITTEN & SIPE L.L.P.
ATTORNEYS AT LAW
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HARRISONBURG, VIRGINIA 22801-3434

FIRM TELEPHONE
(540) 434-5353
FAX
(540) 434-6069
WEB
www.littensipe.com

March 31, 2026

Via Hand-Delivery

Attention: Thanh Dang, Deputy Director
Department of Community Development
City of Harrisonburg, Virginia
409 South Main Street
Harrisonburg, Virginia 22801

Re: Application to Amend R-7 Master Plan

Dear Ms. Dang:

Our firm represents Propst Family Development, LLC which has entered into a contract with Collicello North, LLC for the potential aspect of the Collicello North development (the “Development”), which is a permitted R-7 development with a Master Plan approved by the City Council on July 23, 2013. The Development features a mixture single-family homes and townhomes in a New-Urbanism, community-centered design.

Certain permitting steps toward construction of the Development have been completed, including (i) City approval of a site plan, (ii) approval of a preliminary subdivision plat, (iii) subdivision of portions of the Development, (iv) approval of subdivision variances to as contemplated by the Master Plan, and (v) recordation of covenants for the Development.

However, for construction of the Development to proceed, Propst Family Development, LLC has applied for certain Proposed Amendments to the Master Plan. The intent of the Proposed Amendments is to keep the core vision of the original Development, described on the enclosed “Collicello North Vision” document¹, but to adjust and update some details to enable the houses within the Development to be constructed at a product and price-point that meets market demand for housing within Harrisonburg and is economically viable, both for the developer and for the homeowners.

The following is a summary of the main proposed amendments to the Master Plan:

- Language regarding NetZero energy efficiency is modified to provide that although the houses will be constructed with certain energy-efficient features, including features that make the houses ready for the installation of solar panels, that the actual installation of solar panels will be optional for the homeowners. This amendment enables the developer to construct the housing at a price-point that is more affordable, while still making

¹ This language has been removed from the Master Plan at the suggestion of City Staff, but is being provided here for informational purposes as it is still relevant to the Project.

installation solar a viable option for homeowners, either at the time of purchase or at some time thereafter.

- Appendix A, Conceptual elevations and renderings, are removed from the Master Plan to provide for flexibility in construction and over time.
- Phasing is eliminated, to provide flexibility to adapt construction to market demands.
- Appendix C is removed, and language regarding the Property Owners' Association declaration is simplified to provide flexibility for changes, from time to time, except that language regarding public and private easements shall not materially change without permission from the City Zoning Administrator.

Please let me know if you have any questions or would like more information regarding these proposed amendments.

Cordially,

Jordan Bowman

Jordan K. Bowman
JKB
Enclosure – Vision Document

Collicello North Vision

I. Introduction

The following information comprises the Vision for Collicello North and the zoning regulations for development.

Vision

The Vision conveys the philosophy behind the conception and intent of Collicello North.

Zoning Regulations

The zoning regulations as identified in this section and Master Plan Layout (described below) define the myriad of regulations necessary to bring the Collicello North Vision to fruition.

Master Plan Layout

The Master Plan Layout (the “Layout”) is a graphic depiction of the Zoning Regulation sections, but the Layout is a governing detail of the Collicello North development, generally depicting where roads, buildings, sidewalks, landscaping, grading, and utilities will be provided.²

II. Vision

Collicello North is designed to be a community aligned with the purpose of the R-7 district and based on the 7 New Urbanism Principles:

- 1) The basic building block of a community is the neighborhood.
- 2) The neighborhood is limited in physical size, with well-defined edges and center.
- 3) Corridors form the boundaries between neighborhoods, both connecting and defining the neighborhoods.
- 4) Human scale sets the standard for proportion for buildings. Buildings must be disciplined in how they relate to their lots if public space is to be successfully demarcated.
- 5) Treating a range of transportation options as important is fundamental.
- 6) The street pattern is conceived as a network to create the greatest number of alternative routes from one part of the neighborhood to another.
- 7) Civic buildings belong on preferred sites such as squares and neighborhood centers.

General Intentions of Housing and Neighborhood

The houses of Collicello North are intended to be energy efficient and solar-ready. This means that at the core of each house will be the principles of design that are sustainable and efficient in practice, balanced against the goal of providing houses that are reasonably affordable. The houses are oriented to welcome the southern exposure, providing protection from the north while providing sufficiently sized and oriented roof space for solar and photo-voltaic arrays.

Weaving private areas and public areas into useable and inviting space is a challenge within urban planning. The R-7 asks for clustered groupings of living units to allow for open space. This is much

² Some utilities are identified on the Master Plan Layout as “proposed”,

easier to do when using a multi-family housing concept but is more difficult within a single-family model. Adding to the design challenges is the need to account for the demands of sustainable living. Through quality design, Collicello North has incorporated a zero-lot-line setback concept to create private outdoor living area, which also serves as the spacing between buildings to allow for access to the southern sky. The master plan will allow for multi-family development within the area delineated for mixed used. If such units are developed, these units will be integrated and made compatible with Collicello North's other residential units through the use of good site planning, common architectural themes and landscaping.

Collicello North will also incorporate a bicycle and pedestrian path. The purpose of this approximately 150' long and six (6) feet wide paved strip is to connect the upper streets with the lower access private road that leads to Edom Road. This connector has further significance as the developers of Collicello North would like to help connect this neighborhood to the planned Northend Greenway. Increasing the accessibility to the greater community while minimizing residence reliance on automobiles by creating and encouraging alternative transportation options, is a major component in Collicello North's New Urban Principles and emphasizes on sustainability.

The vision is for Collicello North to uniquely apply the attributes of the R-7 zoning in such a way that allows for the principles of New Urbanism, traditional neighborhood and sustainable design, to serve our community long into the future.

COLLICELLO NORTH

MASTER PLAN

Table of Contents

I. Zoning Regulations

Tables

Table A - Types, quantities, setbacks, etc. (included within the text of the Zoning Regulations)

Table B - General Landscape Plan

Appendices

Appendix A - Master Plan Layout

Collicello North

I. Zoning Regulations for Collicello North

Lot area, width, and depth, and setbacks for all buildings are stated in Table A.

TABLE A

LOT TYPE ¹	#of units	LOT SIZE (MIN.SF)	LOT DEPTH (MIN)	LOT WIDTH (MIN)	SETBACK
A- single family	7	2000'	70'	30'	0'
B- single family	7	1600'	50'	30'	0'
C -single family	3	1600'	45'	30'	0'
D-town home	6	700'	35'	19'	0'
E-town home	6	900'	40'	19'	0'
F-town home	6	700'	35'	19'	0'
Multi-Family	as permitted by density	no minimum	no minimum	no minimum	0'
Non-Residential	N/A	No minimum or maximum other than as required by the R-7 zoning regulations.	no minimum	no minimum	0'

* Any residential building type may be developed in conjunction with the mixed-use area or areas later added to the Master Plan

**If the existing single family structure within the mixed-use area is used as a detached single family home there shall be no minimum lot size, lot depth or lot width requirements and it shall have zero setbacks.

The Master Plan Layout illustrates the general arrangement and location of buildings and where residential unit types will be located. The application of typical requirements of the City's Zoning Ordinance Article T and other regulations for this development are specified below.

1. No provisions of the City's Zoning Ordinance Article T shall apply, however matters normally regulated by Article T are otherwise regulated as indicated below.
 - Patios, courtyards, terraces, porches and other similar features may have zero setbacks along all property lines.
 - Section 10-3-111 Height shall be applicable.
 - Accessory buildings shall be held to the same setbacks required of principal buildings and as afforded by the provisions of the H.O.A.
2. Walls and fences, beams and similar items which may restrict passage or vision or simply enhance private property shall not exceed 8', and may be located with a zero setback as afforded by the provisions of the H.O.A. except as restricted by needed sight lines for traffic.
3. In the event that residential dwellings utilize garage space to meet minimum required parking requirements, such space shall not be converted to livable space.

¹ A prior version of this Master Plan included specific building types. With this revision to the Master Plan, there is no inclusion of specific building types. However, the dimensions for these lot types as shown on this table still apply.

4. Any community building (i.e. pavilion) and any future amenities for the green/open space can be constructed in common areas with zero setbacks and as afforded by the provisions of the H.O.A.
5. A mixed-use area has been designated at the corner of 5th and Collicello Streets (See the Master Plan Layout in Appendix A). This area will include any of the following uses: Non-Residential as permitted by the district, Multi-Family Units, and/or any of the residential unit types listed in Table A or the existing single family detached structure. The existing structure will be maintained as is or either renovated with new construction added or will be demolished and new building(s) constructed. Lot and dimensional requirements for such uses is governed by Table A.
6. A property owners association (“HOA”) will be created to own and maintain common areas, easements, and improvements thereon. A Declaration of Covenants, Conditions, and Restrictions (the “Declaration”) will be recorded that will serve as the governing document for the HOA. The terms of the actual Declaration may be amended from time to time during the existence of the Project, provided that the public and private easements shall not be materially altered except upon permission in writing from the City Zoning Administrator.
7. Each home will be constructed to be solar-ready, including reserved breaker space in the main panel, conduit run from attic to electrical room, conduit stubbed toward the meter location, roof structural consideration for future attachment, and wall space allocated for inverter or battery.

Streets and Parking

The location of streets, access to parking areas, and sidewalks shall be constructed in the areas generally shown on the Master Plan Layout. The private road entrance for Collicello North off of Edom Road may be shared with tax map 40-I-6.

A variance to the Subdivision Ordinance for the design of streets, alleys, blocks, easements, sidewalks, and all such related features along with allowing lots to not have public street frontage shall be applied for during the preliminary platting of this development.

The variance is needed so the preliminary plat and final plat can be adopted in accordance to the Master Plan Layout.

Landscaping within the public and private street rights-of-ways will be maintained by the Collicello North Home Owners Association.

Bicycle and Pedestrian Path

As indicated on the Master Plan Layout, a bicycle and pedestrian path will be constructed in the general located shown along the west end of the Lower Green and Type D² lots and will continue north between the Type F & E lots. If this path cannot be accommodated in this general location, a different location may be provided within the development to provide the same connection intent as described in the Vision.

² See footnote 1.

Table B - Landscape

QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION
TREES			
1	Gingo Biloba	GINKGO	2-2.5"
1	Acer Sacchanum	SUGAR MAPLE	2-2.5"
1	Cercis Cauadences	EASTERN REDBUD	6-8'
1	Thuja occidentalis 'Nigra'	BLACK CEDAR	6-7'
PROJECTED PLANT TYPES			
N/A	Buxus microphylla japonica 'Justin Brouwer'	JUSTIN BROUWER BOXWOOD	15-18", #3
N/A	Buxus sempervirens 'fastigiata'	FASTIGIATA BOXWOOD	30-36", #7
N/A	Ilex glabra 'Compacta'	COMPACT INKBERRY HOLLY	15-18", #3
N/A	Ilex x 'Christmas Jewel'	CHRISTMAS JEWEL HOLLY	36-42", #7
PROJECTED PERENNIALS AND ANNUALS			
N/A	Liriope muscari 'Variagata'	VARIEGATED LILYTURF	#1

* Similar plant materials may be substituted if suitable

Once plans are finalized we will develop a more formal landscape plan.

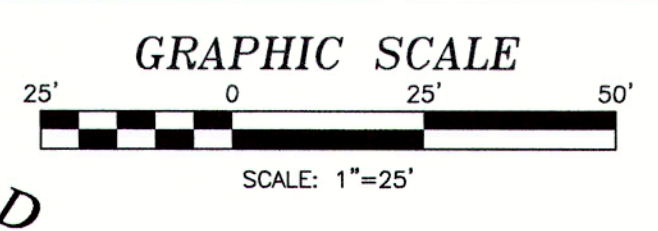
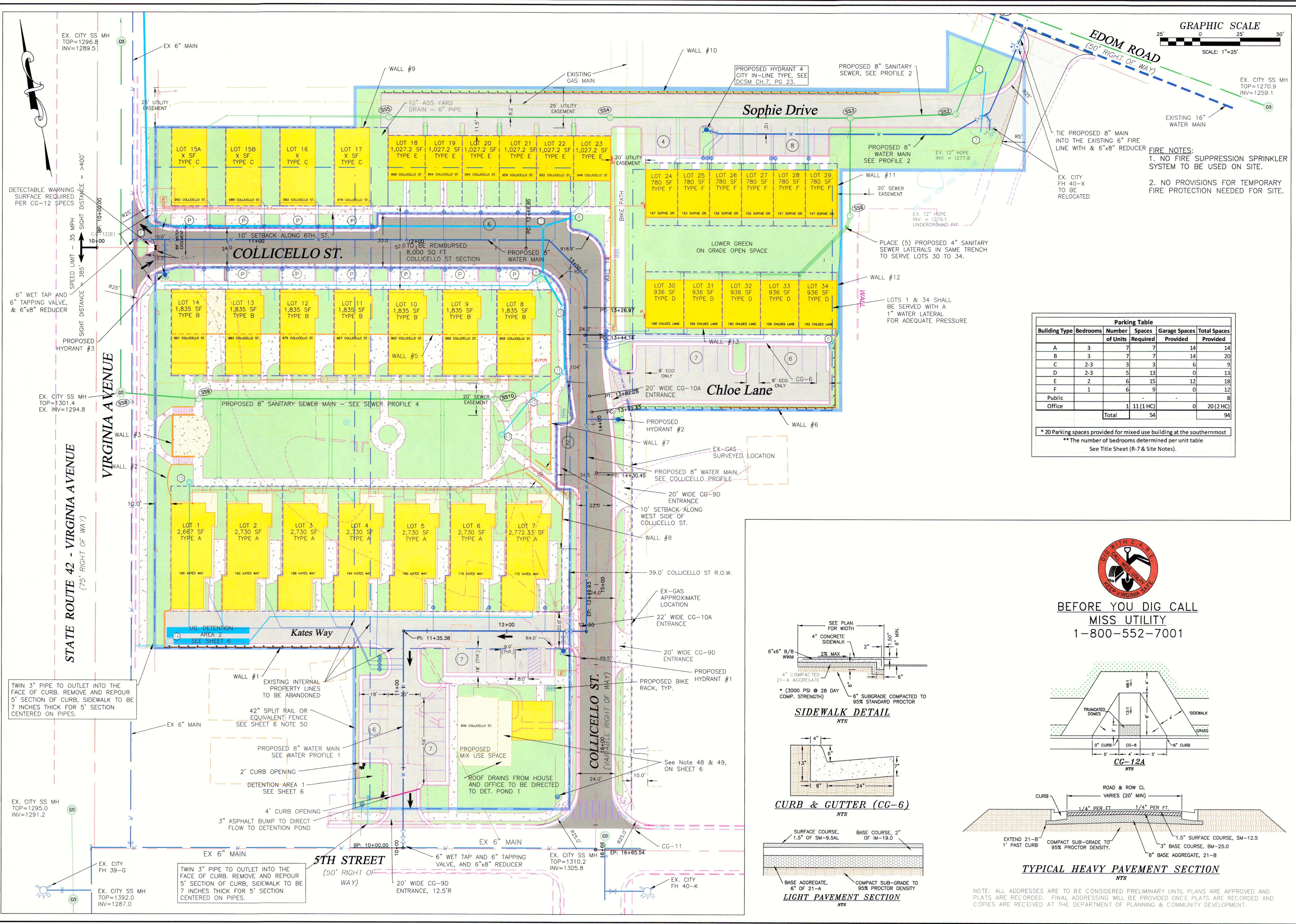
Appendix A Master Plan Layout

Sec. 10-3-111. - Height.

The height regulations heretofore established will be adjusted in the following cases:

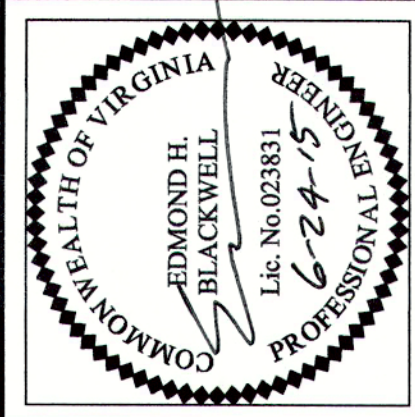
- (1) The height limitations of this chapter shall not apply to the architectural features such as chimneys, spires, etc., and necessary accessory structures such as water towers, smokestacks and conveyors which are incidental to uses permitted in nonresidential districts.
- (2) The limitations on the number of stories shall not comply to buildings and structures not intended for human occupancy, but heights shall be governed by technical and environmental standards.

(Ord. of 4-23-96)



Date: NOV 2013
 Scale: AS SHOWN
 Designed by: EHB
 Drawn by: JRC/PBR
 Checked by: EHB

BLACKWELL ENGINEERING, PLC
 566 East Market Street
 Harrisonburg, Virginia 22801
 PHONE: (540)432-9555 FAX: (540)434-7604
 E-Mail: BE@blackwellengineering.com



Revision Dates

3	07/22/14	CITY COMMENTS
4	08/28/14	CITY COMMENTS
5	10/22/14	CITY COMMENTS
6	04/29/15	ADDENDUM #1

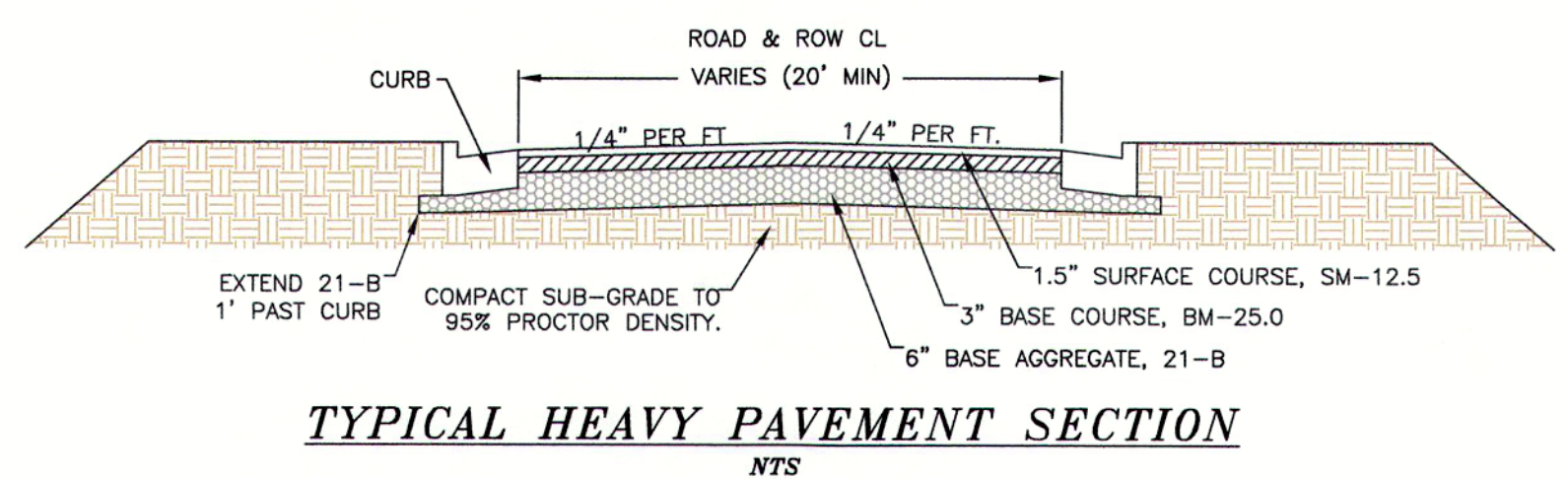
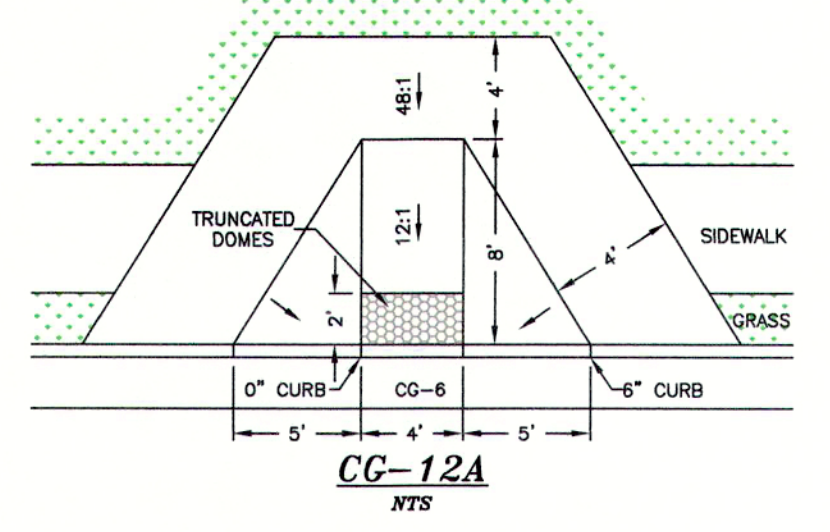
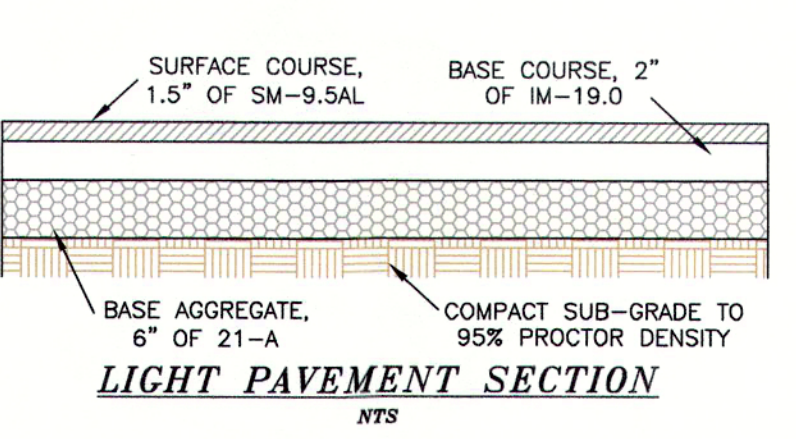
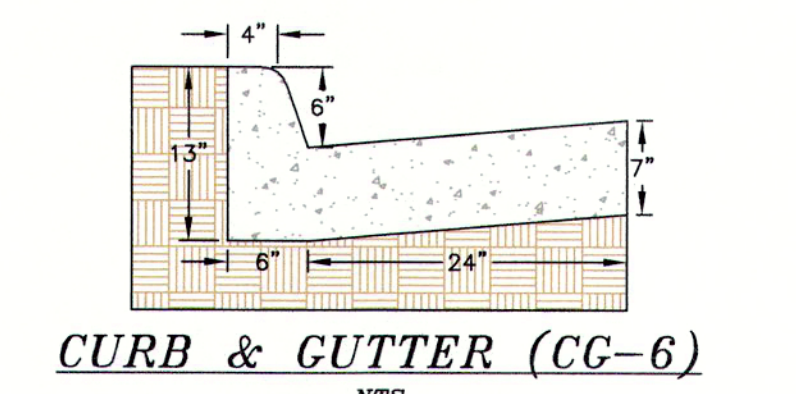
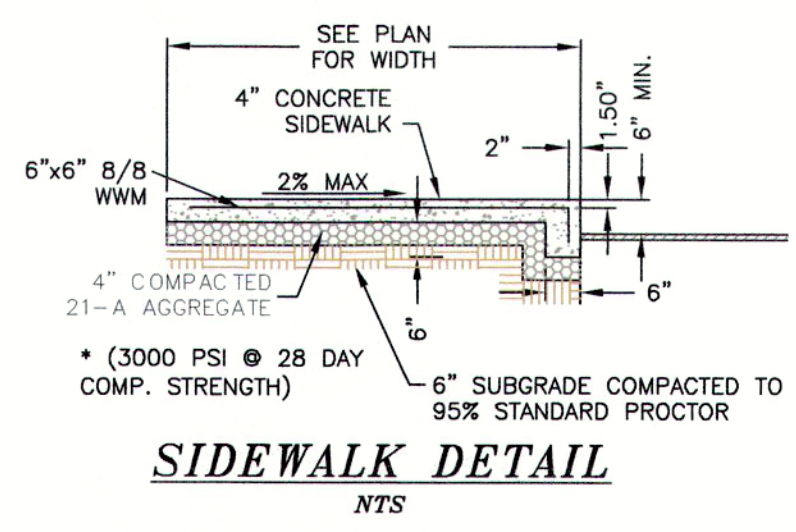
Parking Table

Building Type	Bedrooms	Number of Units	Spaces Required	Garage Spaces Provided	Total Spaces Provided
A	3	7	7	14	14
B	3	7	7	14	20
C	2-3	3	3	6	9
D	2-3	5	13	0	13
E	2	6	15	12	18
F	1	6	9	0	12
Public Office		1	11 (1HC)	0	20 (2HC)
Total			54		94

* 20 Parking spaces provided for mixed use building at the southernmost
 ** The number of bedrooms determined per unit table
 See Title Sheet (R-7 & Site Notes).



**BEFORE YOU DIG CALL
 MISS UTILITY
 1-800-552-7001**



NOTE: ALL ADDRESSES ARE TO BE CONSIDERED PRELIMINARY UNTIL PLANS ARE APPROVED AND PLATS ARE RECORDED. FINAL ADDRESSING WILL BE PROVIDED ONCE PLATS ARE RECORDED AND COPIES ARE RECEIVED AT THE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT.

MASTER PLAN
 COLLICELLO NORTH
 KIN GROUP, LLC
 5782 GREENHILL ROAD
 LINVILLE, VA 22834

Drawing No.
2
 of 8 Sheets

Job No. 2266

COLICELLO NORTH

MASTER PLAN

[Kin-Group, LLC](#)
[6322 Acker Lane](#)
[Linville, VA 22834](#)

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~~II. Vision~~

~~III. Zoning Regulations~~

~~Tables~~

~~Table A - Types, quantities, setbacks, etc. (included within the text of the Zoning Regulations)~~

~~Table B - General Landscape Plan~~

~~Appendices~~

~~Appendix A - Conceptual elevations and renderings~~

~~Appendix AB - Phasing, Proposed Public Street Right Of Way, Parking and Common areas Master Plan Layout~~

~~Appendix C - Property Owners' Association Covenants, Conditions, and Rights~~

Collicello North

I. Introduction

The following information comprises the Vision for Collicello North and the zoning regulations for development.

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The Vision conveys the philosophy behind the conception and intent of Collicello North.

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The zoning regulations as identified in this section and Master Plan layout (described below) define the myriad of regulations necessary to bring the Collicello North Vision to fruition.

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The Master Plan layout is a graphic depiction of the Zoning Regulation sections, but the layout is a governing detail of the Collicello North development generally depicting where roads, buildings, sidewalks, landscaping, grading, and utilities will be provided.

II. Vision

Collicello North is designed to be a NetZero Ready Community aligned with the purpose of the R-7 district and based on the 7 New Urbanism Principles:

- 1) The basic building block of a community is the neighborhood.
- 2) The neighborhood is limited in physical size, with well defined edges and center.
- 3) Corridors form the boundaries between neighborhoods, both connecting and defining the neighborhoods.
- 4) Human scale sets the standard for proportion for buildings. Buildings must be disciplined in how they relate to their lots if public space is to be successfully demarcated.
- 5) Treating a range of transportation options as important is fundamental.
- 6) The street pattern is conceived as a network to create the greatest number of alternative routes from one part of the neighborhood to another.
- 7) Civic buildings belong on preferred sites such as squares and neighborhood centers.

Every detail of Collicello North is designed to facilitate the manifestation of these principles and concepts into the fabric of a vibrant traditional neighborhood that is connected to greater Harrisonburg. Collicello North does not wish to define itself as its own community, but rather as a neighborhood among neighborhoods within the Harrisonburg community.

General Intentions of Housing and Neighborhood

The houses of Collicello North are intended to be NetZero Ready. This means that at the core of each house will be the principles of design that are the most sustainable and the most efficient in practice. First, and most importantly, the houses are not oversized, averaging around 1300 sf. Secondly, the downsized houses are oriented to welcome the southern exposure, providing protection from the north while providing sufficiently sized and oriented roof space for solar and photo voltaic arrays. Thirdly, each home is constructed with an exceptionally tight and efficient shell. These three concepts combined with the use of quality products, excellent craftsmanship and a "house as a system" approach to design, allow the houses of Collicello North to achieve a NetZero capability, producing as much energy as they use.

Weaving private areas and public areas into useable and inviting space is a challenge within urban planning. The R-7 asks for clustered groupings of living units to allow for open space. This is much easier to do when using a multi family housing concept but is more difficult within a single family model. Adding to the design challenges is the need to account for the demands of sustainable living. Through quality design, Collicello North has incorporated a zero lot line setback concept to create private outdoor living area, which also serves as the spacing between buildings to allow for access to the southern sky. Appendix A illustrates elevation conceptual renderings of the single family buildings. Although no renderings have been sketched, the master plan will allow for multi-family development within the area delineated for mixed used. If such units are developed, these units will be integrated and made compatible with Collicello North's other residential units through the use of good site planning, common architectural themes and landscaping.

Collicello North will also try to incorporate a bicycle and pedestrian path. The purpose of this approximately 150' long and six (6) feet wide paved strip is to connect the upper streets with the lower access private road that leads to Edom Road. This connector has further significance as the developers of Collicello North would like to help connect this neighborhood to the planned Northend Greenway. Increasing the accessibility to the greater community while minimizing residence reliance on automobiles by creating and encouraging alternative transportation options, is a major component in Collicello North's New Urban Principles and emphases on sustainability.

The vision is for Collicello North to uniquely apply the attributes of the R-7 zoning in such a way that allows for the principles of New Urbanism, traditional neighborhood and sustainable design, to serve our community long into the future.

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III.I. Zoning Regulations for Collicello North

Lot area, width, and depth, and setbacks for all buildings are stated in Table A.

TABLE A

BUILDING LOT TYPE ¹	#of units	LOT SIZE (MIN.SF)	LOT DEPTH (MIN)	LOT WIDTH (MIN)	SETBACK
A- single family	7	2000'	70'	30'	0'
B ¹ - single family	7	1800'	50'	30'	0'
C -single family	3	1600'	45'	30'	0'
D ¹ -town home	6	700'	35'	19'	0'
E-town home	6	900'	40'	19'	0'
F-town home	6	700'	35'	19'	0'
Multi-Family	as permitted by density	no minimum	no minimum	no minimum	0'
Non-Residential	N/A	No minimum or maximum other than as required by the R-7 zoning regulations.	no minimum	no minimum	0'

- Any residential building type may be developed in conjunction with the mixed-use area or areas later added to the Master Plan
¹One duplex on lot 13 & 14 (Type B units)

**If the existing single family structure within the mixed-use area is used as a detached single family home there shall be no minimum lot size, lot depth or lot width requirements and it shall have zero setbacks.

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The Master Plan Layout illustrates the general arrangement and location of buildings and where residential unit types will be located. The application of typical requirements of the City's Zoning Ordinance Article T and other regulations for this development are specified below.

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1. No provisions of the City's Zoning Ordinance Article T shall apply, however matters normally regulated by Article T are otherwise regulated as indicated below.

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- Patios, courtyards, terraces, porches and other similar features may have zero setbacks along all property lines.
- Section 10-3-111 Height shall be applicable.
- Accessory buildings shall be held to the same setbacks required of principal buildings and as afforded by the provisions of the H.O.A.

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2. Walls and fences, beams and similar items which may restrict passage or vision or simply enhance private property shall not exceed 8', and may be located with a zero setback as afforded by the provisions of the H.O.A. except as restricted by needed sight lines for traffic.

3. In the event that residential dwellings utilize garage space to meet minimum required parking requirements, such space shall not be converted to livable space.

¹A prior version of this Master Plan included specific building types. With this revision to the Master Plan, there is no inclusion of specific building types. However, the dimensions for these lot types as shown on this table still apply.

4. Any community building (i.e. pavilion) and any future amenities for the green/open space can be constructed in common areas with zero setbacks and as afforded by the provisions of the H.O.A.
 5. A mixed-use area has been designated at the corner of 5th and Collicello Streets (See [the Master Plan Layout](#) in Appendix B.A). This area will include any of the following uses: Non-Residential as permitted by the district, Multi-Family Units, and/or any of the residential unit types listed in Table A or the existing single family detached structure. The existing structure will be maintained as is or either renovated with new construction added or will be demolished and new building(s) constructed. Lot and dimensional requirements for such uses is governed by Table A.
 6. ~~Although the master plan layout illustrates 35 residential units, given the intent of #5 as noted above, the total number and type of dwelling units will ultimately be determined by the finalized total square footage of the master planned R-7-A property owners association ("HOA") will be created to own and maintain common areas, easements, and improvements thereon. A Declaration of Covenants, Conditions, and Restrictions (the "Declaration") will be recorded that will serve as the governing document for the HOA. The terms of the actual Declaration may be amended from time to time during the existence of the Project, provided that the public and private easements shall not be materially altered except upon permission in writing from the City Zoning Administrator.~~
 7. Each home will be constructed to be solar-ready, including reserved breaker space in the main panel, conduit run from attic to electrical room, conduit stubbed toward the meter location, roof structural consideration for future attachment, and wall space allocated for inverter or battery.
6. —
7. —

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Streets and Parking

The location of streets, access to parking areas, and sidewalks shall be constructed in the areas generally shown on the Master Plan ~~Layout~~ and as shown in the layout in Appendix B. The private road entrance for Collicello North off of Edom Road may be shared with tax map 40-I-6.

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A variance to the Subdivision Ordinance for the design of streets, alleys, blocks, easements, sidewalks, and all such related features along with allowing lots to not have public street frontage shall be applied for during the preliminary platting of this development.

The variance is needed so the preliminary plat and final plat can be adopted in accordance to the Master Plan ~~and Appendix B Layout~~. Note that Appendix B provides proposed street widths, sidewalks, and indicates streets as public or private. Appendix B also delineates parking areas.

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- Landscaping within the public and private street rights-of-ways will be maintained by the Collicello North Home Owners Association.

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Bicycle and Pedestrian Path

As indicated on the Master Plan ~~Layout~~, a bicycle and pedestrian path ~~is~~ will be constructed in the generally located ~~shown~~ along the west end of the Lower Green and Type D² ~~units lots~~ and will continue north between the Type F & E ~~units lots~~. If this path cannot be accommodated in this general location, a different location may be provided within the development to provide the same connection intent as described in the Vision.

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Transit

~~So long as the Harrisonburg Department of Public Transportation approves of a location, a bus stop will be provided near the intersection of 5th and Collicello Streets. Until such time that the mixed use area is sufficiently developed, the existing bus stop location on the corner of Collicello and 3rd is acceptable.~~

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² See footnote 1.

~~However, when the mixed use area is substantially completed, which includes shelter for individuals waiting for the bus, it is the developers extreme wish to have a bus stop located as proposed on the Master Plan.~~

Table B - Landscape

QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION
TREES			
1	Gingo Biloba	GINKGO	2-2.5"
1	Acer Sacchanum	SUGAR MAPLE	2-2.5"
1	Cercis Cauadences	EASTERN REDBUD	6-8'
1	Thuja occidentalis 'Nigra'	BLACK CEDAR	6-7'
PROJECTED PLANT TYPES			
N/A	Buxus microphylla japonica 'Justin Brouwer'	JUSTIN BROUWER BOXWOOD	15-18", #3
N/A	Buxus sempervirens 'fastigiata'	FASTIGIATA BOXWOOD	30-36", #7
N/A	Ilex glabra 'Compacta'	COMPACT INKBERRY HOLLY	15-18", #3
N/A	Ilex x 'Christmas Jewel'	CHRISTMAS JEWEL HOLLY	36-42", #7
PROJECTED PERENNIALS AND ANNUALS			
N/A	Liriope muscari 'Variagata'	VARIEGATED LILYTURF	#1

* Similar plant materials may be substituted if suitable

Once plans are finalized we will develop a more formal landscape plan.

~~**Appendix A**~~

~~Illustrates conceptual renderings of the residential buildings.~~

~~**Appendix B**~~

~~Phasing, Proposed Public Street Right Of Way, Parking and Common areas Master Plan Layout~~

~~**Appendix C**~~

~~Property Owners' Association Covenants, Conditions, and Rights~~

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City of Harrisonburg, VA
Department of Public Works

**Determination of Need for a
Traffic Impact Analysis (TIA)**

www.harrisonburgva.gov/traffic-impact-analysis

For inclusion in an application for Planning Commission review (for Special Use Permit, Rezoning or Preliminary Plat), this form must be submitted to the Public Works Department at least 5 business days prior to the Planning Commission application deadline.

Contact Information	
Consultant Name:	Jason Propst
Telephone:	540-476-0454
E-mail:	Jason@propstfamilydev.com
Owner Name:	Al Thomas
Telephone:	773-502-5024
E-mail:	Almarkthomas@gmail.com
Project Information	
Project Name:	Collicello North
Project Address: TM #:	919 Collicello Street 40-H-1
Existing Land Use(s):	Housing
Proposed Land Use(s): (if applicable)	Vacant
Submission Type:	Comprehensive Site Plan <input type="radio"/> Special Use Permit <input type="radio"/> Rezoning <input checked="" type="radio"/> Preliminary Plat <input type="radio"/>
Project Description: (Include site plan or preliminary sketch and additional details on land use, acreage, access to site, etc)	2.96 AC, 36 lot subdivision including existing Home at 919 Collicello. Development is divided into 18 Single Family detached homes and 17 attached. Main Entrances from Collicello street at 919 and from the opposite corner from Virginia Avenue. +
Peak Hour Trip Generation (from row 15 on the second page)	
AM Peak Hour Trips:	20
PM Peak Hour Trips:	26

(reserved for City staff)

TIA required? Yes _____ No

Comments:

Accepted by: *Timothy Mason*

Date: 03/06/2026

Peak Hour Trip Generation by Land Use

Row	ITE Land Use		ITE Land Use Code	Unit	Quantity	AM Peak Hour of Adjacent Street Traffic	PM Peak Hour of Adjacent Street Traffic
1	Proposed #1	Single Family Detached	210	Dwelling Unit	19	13	18
2	Proposed #2	Single Family Attached	215	Dwelling Unti	17	8	9
3	Proposed #3						
4	Proposed #4						
5	Proposed #5						
6	Proposed #6						
7	Total New Trips					21	27
8	Existing #1	Single Family Detached	210	Dwelling Unit	1	1	1
9	Existing #2						
10	Existing #3						
11	Existing #4						
12	Existing #5						
13	Existing #6						
14	Total Existing Trips					1	1
15	Final Total (Total New – Total Existing)					20	26

Instructions

Determination of trip generation rates shall be in conformance with ITE guidelines.

1. Based on the intended use(s), calculate the AM Peak and PM Peak trip generation using the AM and PM Peak Hour of Adjacent Street Traffic rates from the most current version of the ITE Trip Generation Manual (rows 1-6). Attach additional sheets as necessary for more uses.
2. Sum up all of the trips generated for the new uses in the Total New Trips row (row 7).
3. If the development has any existing uses, calculate the AM Peak and PM Peak trip generations using the AM and PM Peak Hour of Adjacent Street Traffic rates from the most current version of the ITE Trip Generation Manual (rows 8-13). Attach additional sheets as necessary for more uses.
4. Sum up all of the trips generated for the existing uses in the Total Existing Trips row (row 14).
5. Subtract the total existing trips from the total new trips to get the final total number of trips generated by the development (row 15). Enter these numbers on the first page.

Revised Date: December 2019

NOTICE OF PUBLIC HEARING

The Harrisonburg City Council will hold public hearings in the City Council Chambers, 409 South Main Street, Harrisonburg, VA on Tuesday, May 12, 2026, at 7:00 p.m., to consider the following:

Special Use Permit – 140 East Wolfe Street (Manufacturing, processing and assembly operations when not employing more than fifteen (15) persons in B-1)

A request from Mick or Mack LC for a special use permit per Section 10-3-85 (1) to allow manufacturing, processing and assembly operations when not employing more than fifteen (15) persons on the premises in a single shift and provided that all storage and activities are conducted within a building in the B-1, Central Business District. The +/- 16,600-square foot property is addressed as 140 East Wolfe Street and is identified as tax map parcel 34-N-7.

Special Use Permit – 165 South Main Street (Short Term Rental in B-1)

A request from Big Brother and the Holdings CO LLC for a special use permit per Section 10-3-85 (11) to allow a short-term rental in the B-1 district. The +/- 12,047-square foot property is addressed as 165 South Main Street and is identified as tax map parcel 26-B-2.

Rezoning – Various Addresses Collicello Street and Kates Lane (Collicello North) (Proffer Amendment, R-7)

A request from Collicello North LLC to amend the approved master development plan. The +/- 2.96 acre site is zoned R-7, Medium Density Mixed Residential Planned Community District, is addressed as 919, 925, 955, 959, 963, 967, 975, 983, 991, & 922 Collicello Street and 172, 176, 180, 184, 188, 192, & 196 Kates Lane and are designated as tax map parcels 40-H-1, 11, 17 though 30 & 40-I-16.

Applications and other information are available for review by contacting the Department of Community Development, 409 South Main Street, Monday through Friday, 8:00 a.m. to 5:00 p.m. Please call (540) 432-7700 to obtain a copy by email or by appointment. More information is available at www.harrisonburgva.gov/public-hearings. Interested parties will be able to attend the meeting and to watch the meeting on Public Education Government Channel 1072, and the City's website at www.harrisonburg-va.legistar.com/Calendar.aspx.

Publication dates:

Wednesday, April 29, 2026

Wednesday, May 6, 2026

**STATE OF VIRGINIA
CITY OF HARRISONBURG, to with:**

I, Pamela Ulmer, city clerk, certify that the Harrisonburg City Council will be addressed on Tuesday, May 12, 2026 at 7:00 p.m., or as soon as the agenda permits, to consider the following:

Special Use Permit – 140 East Wolfe Street (Manufacturing, processing and assembly operations when not employing more than fifteen (15) persons in B-1)

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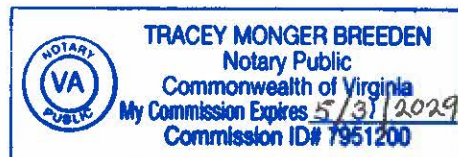
Given under my hand this 24 day of April, 2026

City Clerk

Subscribed and sworn to before me this 24 day of April, 2026 a Notary Public in and for the Commonwealth of Virginia.

Tracey M Breeden
Notary

My commission expires May 31, 2029



BOARD OF TRUSTEES OF ASBURY
UNITED METHODIST CHURCH
205 S MAIN ST
HARRISONBURG VA 22801

BIG BROTHER & THE HOLDINGS CO
LLC
6549 BLACK DOG LANE
LINVILLE VA 22834

A B MCHONE & SONS LLC
75 COURT SQUARE
HARRISONBURG VA 22801

ROCKINGHAM LIBRARY
ASSOCIATION
174 S MAIN ST
HARRISONBURG VA 22801

HARRISONBURG CHILDREN
MUSEUM INC
PO BOX 957
HARRISONBURG VA 22803

Main 2-f

MDA IV LLC
2425 S MAIN ST
HARRISONBURG VA 22801

DRIVER PROPERTIES LLC
1150 HILLCREST DR
HARRISONBURG VA 22801

MICK OR MACK LC
1150 HILLCREST DR
HARRISONBURG VA 22801

SULLIVAN MOST REV WALTER F
BISHOP OF THE DIOCESE
RICHMOND
154 N MAIN ST
HARRISONBURG VA 22802

Wolfe Street

TIMOTHY O'BRIAN SMITH & LISA
HGUYEN HA
957 PINTAIL LN
CHARLOTTESVILLE VA 22903

ANGEL R QUINONES
949 VIRGINIA AVE
HARRISONBURG VA 22802

GEZAHEGN K GEBERMEDHIN &
HAYMONT A BOGALE
1625 BUTTONWOOD CT APT C
HARRISONBURG VA 22802

EDWIN O SARAVIA & NUBIA M
SARAVIA
185 SOUTHAMPTON DR
HARRISONBURG VA 22801

COLLICELLO NORTH LLC
PO BOX 30580
FORT LAUDERDALE FL 33303

RHODES MARTIN E SYLVIA W
151 5TH ST
HARRISONBURG VA 22802

PROPST FAMILY DEVELOPMENT LLC
PO BOX 591
GROTTOES VA 24411

KATHERINE WARD JOPLING
879 COLLICELLO ST
HARRISONBURG VA 22802

Collicello Worth

WAY WAY BACK LLC
271 W VIEW ST
HARRISONBURG VA 22801

DENNISON AMANDA D
971 VIRGINIA AVE
HARRISONBURG VA 22802

SARHAN JASSAM M
812 BROADVIEW DR
HARRISONBURG VA 22802

GARCIA THOMAS & BERONICA
ESPARZA DE GARCIA
910 VIRGINIA AVE
HARRISONBURG VA 22802

RASUL HAIDAR
760 BLUE RIDGE DR
HARRISONBURG VA 22802

WEAVER ERIC M
465 SUGAR MAPLE LA
HARRISONBURG VA 22801

KIBER VALENTIN CARRANZA
195 FIFTH ST
HARRISONBURG VA 22802

INNOVATIVE SOLID SURFACES LLC
925 VIRGINIA AVE
HARRISONBURG VA 22802

HERNANDEZ VALENTIN VILLA TANIA
L
7648 N VALLEY PIKE
ROCKINGHAM VA 22802

ROADCAP MARY A
5777 SINGERS GLEN RD
HARRISONBURG VA 22802

GENTRY JERRY LEE
501 WEST VIEW ST
BRIDGEWATER VA 22812

MATTHEW S MURRAY II & DIANA
GARCIA ESPARZA
920 VIRGINIA AVE
HARRISONBURG VA 22802

BENEVENTO THOMAS A & MARGOT
M ZAHNER
910 COLLICELLO ST
HARRISONBURG VA 22802

MAY MALA RONDOL & OTHERS
PO BOX 94
SHENANDOAH VA 22849

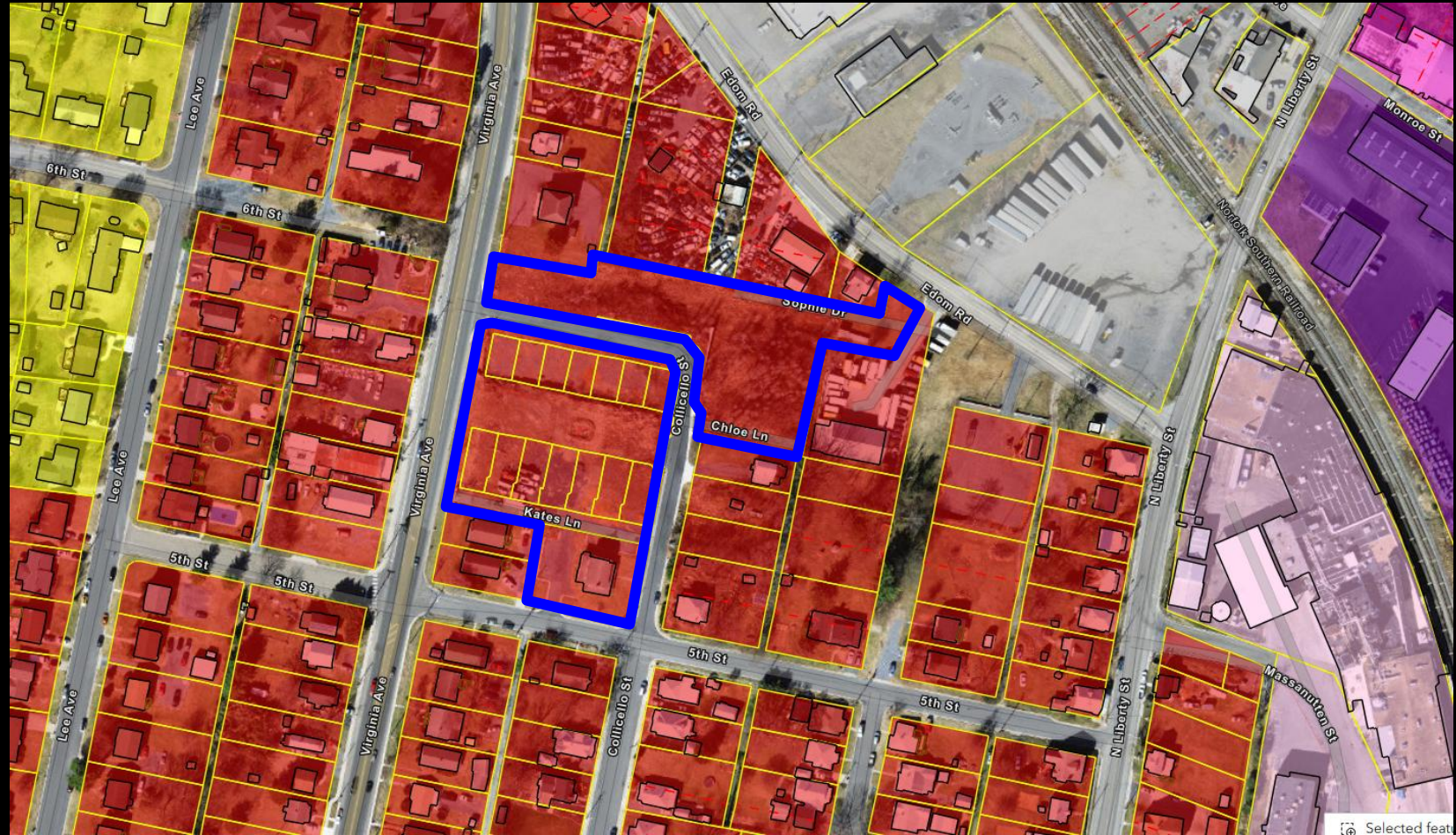
FRANK GUYER AND EVELYN GUYER
REVOCABLE TRUST
880 COLLICELLO ST
HARRISONBURG VA 22802

Rezoning – Collicello North R-7 Master Plan Amendment



Selected feat

Rezoning – Collicello North R-7 Master Plan Amendment



Rezoning – Collicello North R-7 Master Plan Amendment



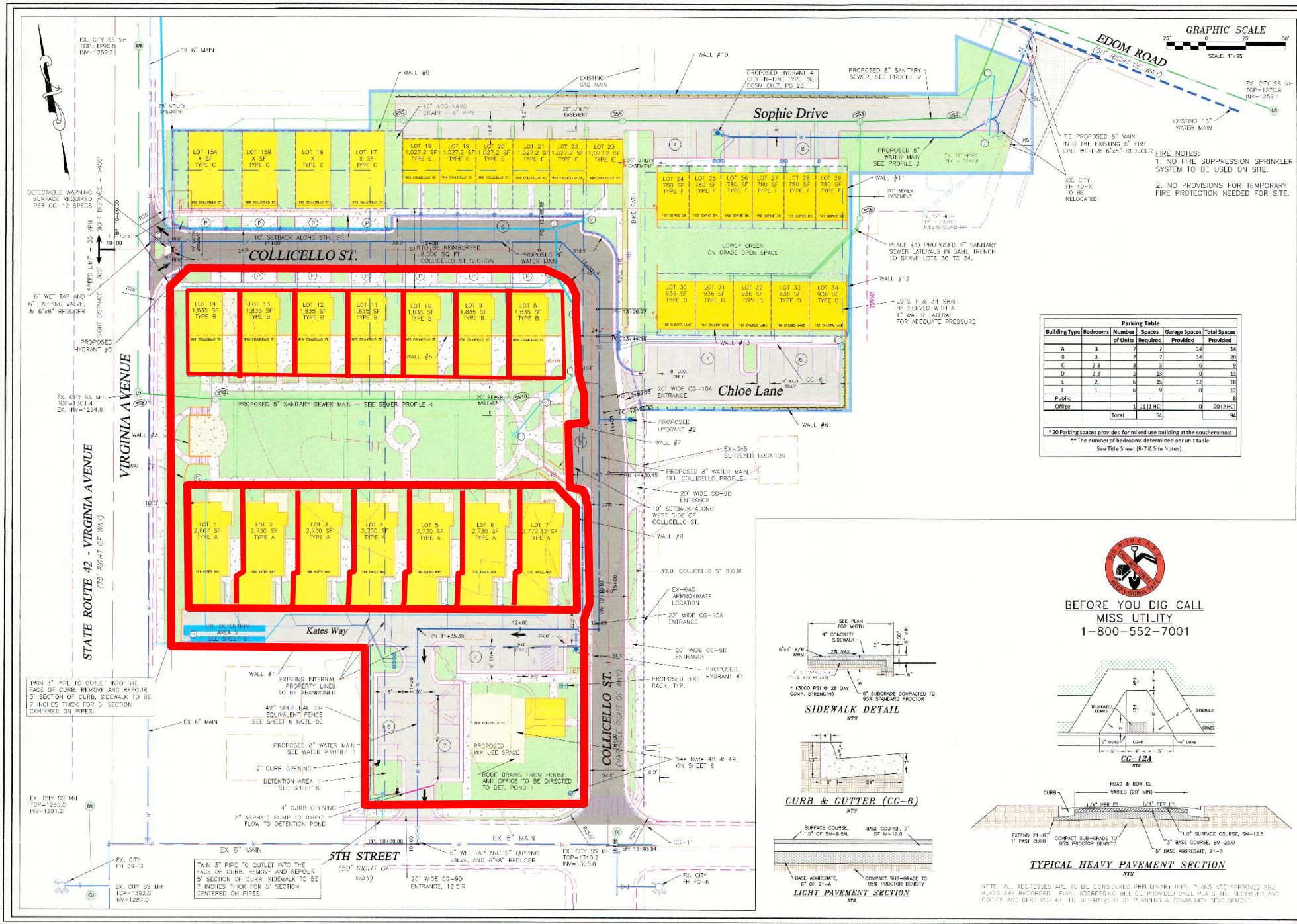
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What is an R-7 Development?

- Planned residential communities with a mix of housing types and must follow an approved Master Plan
- A Master Plan must meet the following requirement:
 - Minimum site area: 2 contiguous acres
 - Open space requirement: At least 15%
 - Minimum of two housing types; no single type over 70%
 - Maximum density: 15 units per acre

Collicello North

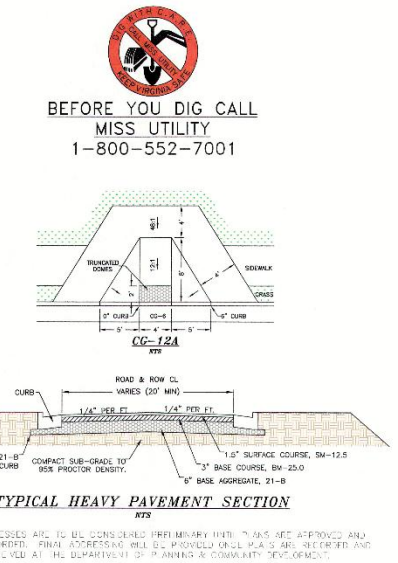
- Master Plan approved in 2013.
- Preliminary Plat and Subdivision Ordinance variances approved in 2013.
 - Deviations for street design.
 - Allow certain lots to not have public street frontage.
- Phase 1 Final Plat approved and recorded in 2015.
- Engineered Comprehensive Site Plan was approved in 2014 and updated in 2015.



Parking Table

Building Type	Bedrooms	Number of Units	Spaces Required	Garage Spaces Provided	Total Spaces Provided
A	3	7	7	34	14
B	3	7	7	34	20
C	2.3	3	3	0	9
D	2.3	3	13	0	13
E	2	6	15	12	18
F	1	6	9	0	12
Public					8
Office		1	11 (HC)	0	20 (2HC)
Total					94

* 20 Parking spaces provided for mixed use building at the southernmost
 ** The number of bedrooms determined per unit table
 See Title Sheet (R-7 & Site Notes).



FIRE NOTES:
 1. NO FIRE SUPPRESSION SPRINKLER SYSTEM TO BE USED ON SITE.
 2. NO PROVISIONS FOR TEMPORARY FIRE PROTECTION NEEDED FOR SITE.

Date: NOV 2013
 Scale: AS SHOWN
 Designed by: EHB
 Drawn by: JRC/PBR
 Checked by: EHB

BLACKWELL ENGINEERING, PLLC
 565 East Main Street
 Harrisonburg, Virginia 22801
 Phone: (540)433-8555 Fax: (540)433-7964
 E-Mail: Engineering@blackwelleng.com



Revision Dates
 07/22/14 CITY COMMENTS
 08/28/14 CITY COMMENTS
 10/22/14 CITY COMMENTS
 04/29/15 ADDENDUM #1

MASTER PLAN
 COLLICELLO NORTH
 KIN GROUP, LLC
 5782 GREENHILL ROAD
 LINCOLLE, VA 22854

Drawing No. **2** of 8 Sheets
 Job No. 2266

Infrastructure Status

- **Completed:**
 - Phase 1 public water & sewer lines have been completed and accepted by the City.
- **In progress:**
 - Elements of Collicello Street have not been completed.
 - The City does not assume responsibility for the street until it is complete and then accepted for public maintenance.

Utilities



Street Today



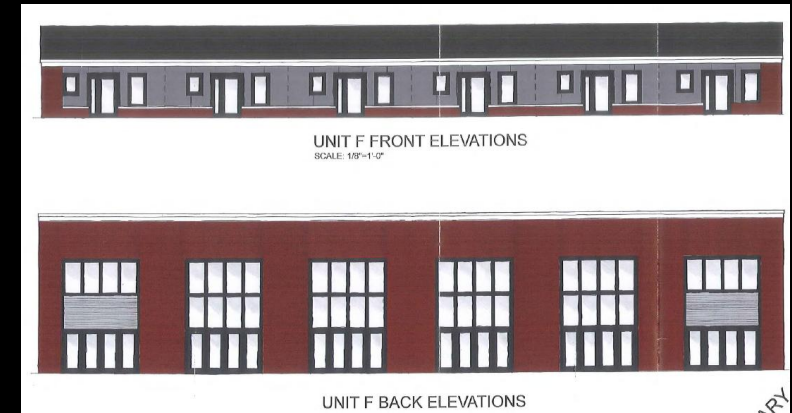
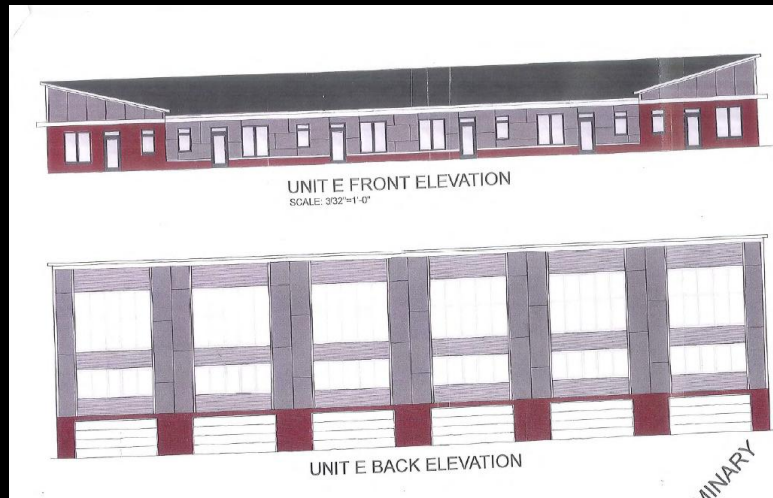
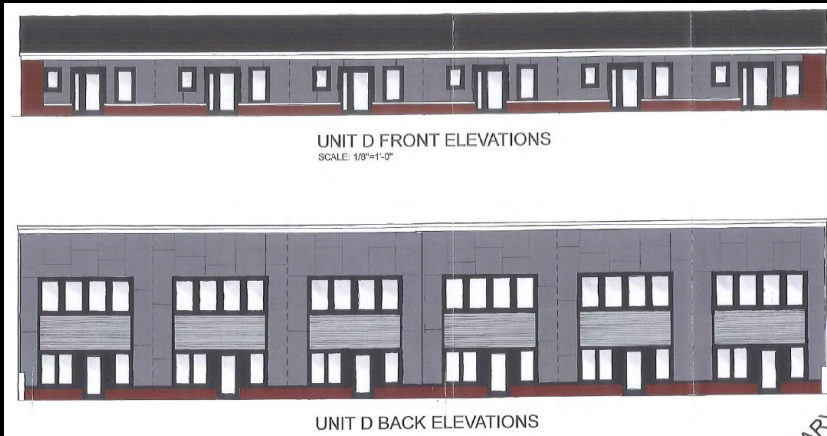
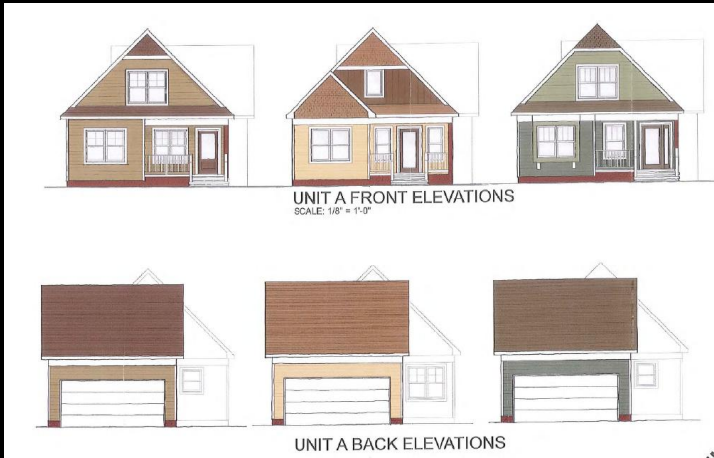
Collicello Street from 5th Street

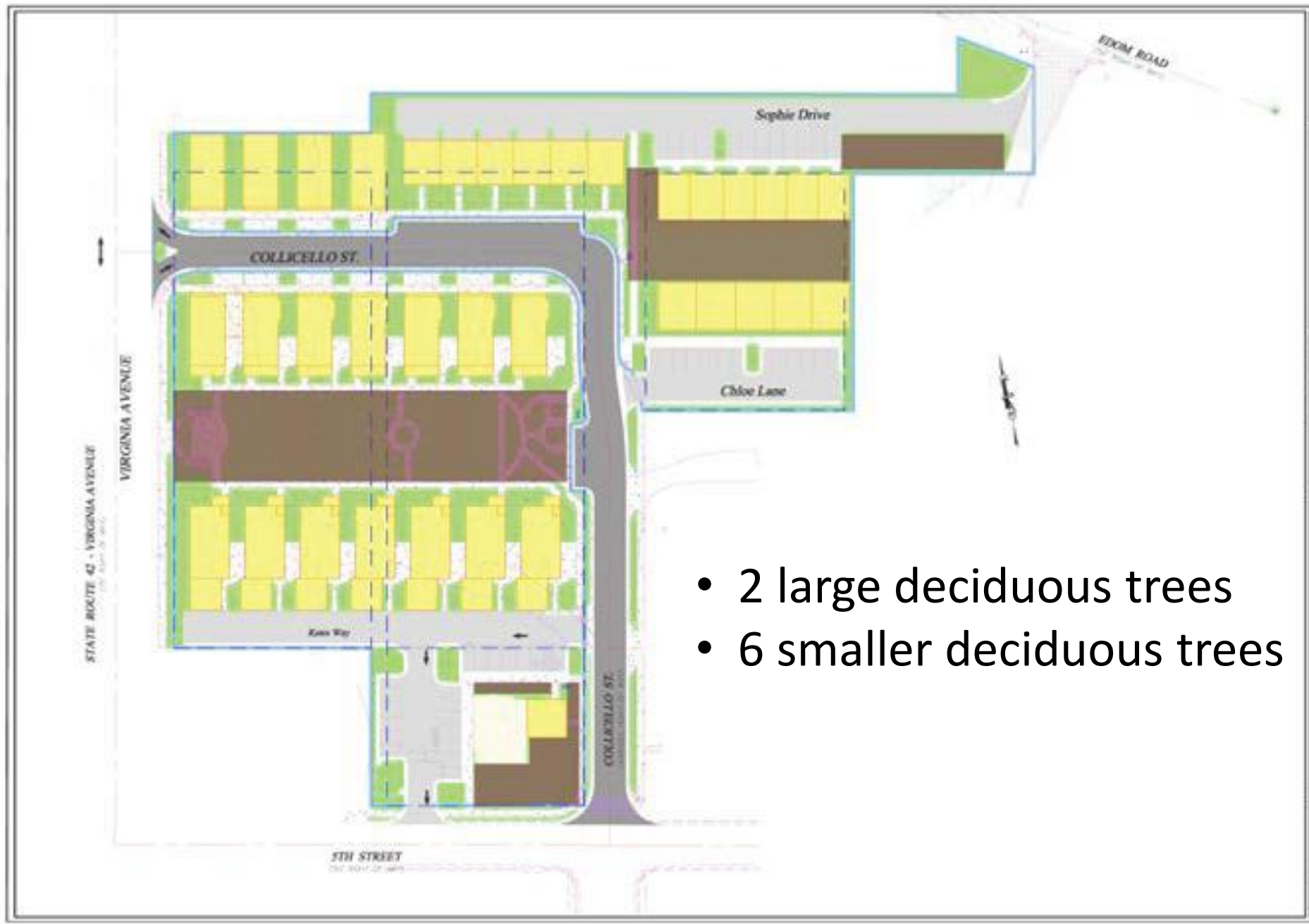


Collicello Street look toward Virginia Avenue

Proposed Changes to the Master Plan

- Remove requirement for solar panels. Instead make units solar ready.
- Remove the requirement for specific unit designs.
- Removed the desire for a transit stop at the intersection of 5th Street and Collicello Street.
- Provide a new Landscaping Plan.
- Clarified difference between aspirational and regulatory components.
- Remove regulation #6.
- Remove the details of the original project phasing.
- Remove the Property Owners' Association declaration from the master plan.





- 2 large deciduous trees
- 6 smaller deciduous trees

<p>BLACKWELL ENGINEERING, INC. 1000 S. 10th Street, Suite 100 Lincoln, NE 68502 Phone: (402) 441-1111 Fax: (402) 441-1112 www.blackwelleng.com</p>
<p>Project No. _____ Drawing No. _____ Date _____</p>
<p style="text-align: center;">Landscaping Plan</p>
<p>Scale: _____ Drawing by: _____ Checked by: _____ Date: _____</p>

Recommendation

Staff and Planning Commission (5-0) recommends approval of the Master Plan Amendment.



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ORD 26-009, **Version:** 1

Subject:

Consider adopting an Ordinance for administrative issuance of Encroachment Licenses in downtown
Presented By: Adam Fletcher, Director of Community Development

The proposed ordinance would streamline and combine existing processes and provide for the administrative review and approval of encroachments and downtown outdoor dining in the B-1. The ordinance would authorize the Director of Community Development or their designee to issue encroachment licenses. Encroachments into the public right-of-way or city-owned property outside of the B-1 are rare and would continue to be reviewed by City Council.



May 12, 2026 City Council Meeting

Title

Consider an Ordinance Amendment for administrative issuance of Encroachment Licenses in downtown — Adam Fletcher, Community Development

Summary

Ordinance Sections	Amend Title 10. – Planning and Development to add Chapter 9. Encroachments
Purpose	<ul style="list-style-type: none"> • To establish a process for administrative issuance of encroachment licenses in the B-1 Central Business District, including Downtown Outdoor Dining licenses. • To authorize the Director of Community Development or their designee to review, issue, and enforce encroachment licenses. • To provide that encroachment licenses are revocable by the Director and/or City Council.
Applicant	City of Harrisonburg
City Council	May 12, 2026

Recommendation

Option 1. Recommend approval of the ordinance amendment.

Fiscal Impact

N/A

Context & Analysis

Currently, the City allows downtown outdoor dining on public street and sidewalk rights-of-way through review and approval by City Council. The process includes review of applications by city departments. Downtown outdoor dining that is accessory and incidental to lawfully existing dining establishments in the B-1 Central Business District may be located on public property immediately adjacent to the dining establishment, provided that adequate space is maintained for pedestrian circulation and other code requirements are met.

The City provides a separate process for encroachments into the public right-of-way or onto City-owned property through review and approval by City Council. This process includes review of applications by city departments. Active encroachment licenses include signs, awnings, planters, canopies, and ATMs.

The proposed ordinance amendment would streamline and combine the two processes and provide for the administrative review and approval of encroachments and downtown outdoor dining in the B-1. The ordinance amendment would authorize the Director of Community Development or their designee to issue encroachment licenses. Encroachments into the public right-of-way or city-owned property outside of the B-1 are rare and would continue to be reviewed by City Council.

The types of encroachment that may be authorized within the B-1 through this process include permanent structures such as signs, awnings, ATMs or other wall-mounted fixtures; non-permanent fixtures, such as planters; and outdoor dining facilities, including tables, chairs, railings, umbrellas, and similar movable furnishings. Other requests in the B-1 that do not fall within the parameters of this ordinance would continue to be reviewed by City Council. One example of a past request that would not be covered by this ordinance includes the improvements made to the Newman Avenue public street right-of-way along the Keezell Building at 122 South Main Street (where Münch restaurant is located).

For encroachments covered by this ordinance, applicants will be required to provide plans or drawings illustrating the encroachment, a description of the materials and installation methods, and any other reasonable information requested by staff. If granted, licenses will be subject to standard conditions regarding location of the encroachment, maintenance, and compliance with any other applicable regulations. Additional conditions may be applied related to public safety, accessibility, and other matters. In addition, the licensee must maintain liability insurance, naming the City as an additional insured, and provide evidence of such insurance. Licenses are not transferable and may be revoked by staff for noncompliance or at the discretion of City Council.

Staff believe that the proposed ordinance will provide a more efficient process for reviewing and approving encroachments and outdoor dining in the B-1, while maintaining public safety, accessibility, and protecting the public right-of-way. Streamlining the process for outdoor dining and similar sidewalk and streetscape features adjacent to existing establishments should help support downtown vitality.

Staff recommends approval of the ordinance amendment, as proposed.

Options

1. Approve the ordinance amendment.
2. Approve the ordinance amendment with modifications.
3. Deny the ordinance amendments.

Attachments

- Proposed Ordinance

**ORDINANCE ENACTING TITLE 10 – PLANNING AND
DEVELOPMENT, CHAPTER 9. – ENCROACHMENTS OF
THE CODE OF ORDINANCES CITY OF HARRISONBURG,
VIRGINIA**

Be it ordained by the Council of the City of Harrisonburg, Virginia:

Enact new Chapter 9. Encroachments as shown below.

Chapter 9. Encroachments.

Section 10-9-1.- Encroachments on public property in B-1.

- (a) In accordance with Section 15.2-2010 of the Code of Virginia, 1950, as amended, the City of Harrisonburg may issue licenses authorizing encroachments in, upon, or over public property and public rights-of-way within the B-1 Central Business District.
- (b) The Director of Community Development or designee (the “Director”) is authorized to review, issue, and enforce the provisions of this chapter. The Director may establish administrative procedures, forms, and guidelines to implement this chapter.
- (c) Each authorization issued under this chapter shall constitute a revocable license, shall confer no property right or interest, and may be revoked by the Director at any time for noncompliance with this section or at the discretion of City Council.
- (d) Licenses for the following encroachments may be authorized within the B-1 Central Business District pursuant to this section:
 - (1) Permanent structures or facilities appurtenant to a building, including but not limited to signs, marquees, awnings, canopies, fire escapes, and wall-mounted fixtures such as ATMs or kiosks;
 - (2) Non-permanent fixtures, such as planters, portable furnishings, and similar movable furnishings; and
 - (3) Outdoor dining facilities, including tables, chairs, railings, umbrellas, and similar movable furnishings.
- (e) Applicants for a license (“licensee”) authorized by this section shall submit a completed application on a form established by the Director, accompanied by:
 - (1) A plan or drawing showing the proposed encroachment, including dimensions, clearances from curbs and pedestrian facilities, and relation to buildings, utilities, and property lines;
 - (2) A description of materials, installation method, and duration, if non-permanent;
 - (3) Any additional information the Director determines is reasonably necessary to ensure compliance with applicable safety and accessibility standards; and
 - (4) An application fee of one hundred dollars (\$100.00).
- (f) Each license issued under this section shall be subject to the following conditions:
 - (1) The encroachment shall be located on public property or city right-of-way immediately adjacent to the lawfully existing establishment;
 - (2) The licensee shall fully comply with all plans submitted and approved by the Director in issuing the license;
 - (3) The licensee shall comply with any applicable federal, state, and local laws and regulations;

- (4) The licensee shall agree to repair any damage caused to the sidewalk, pedestrian right-of-way, shared-use path, public utility, or public property in connection with the construction, installation, and maintenance of the encroachment at the expense of the licensee;
- (5) The license cannot be transferred, assigned, or assumed by any other person, firm, limited liability or corporation;
- (6) The licensee shall indemnify and hold harmless the City, its officers, agents, and employees from any and all claims, legal actions, and judgments arising out of or related to the encroachment, and shall at all times maintain liability insurance as required by the City’s Purchasing Agent;
- (7) The licensee shall acknowledge that the license is made pursuant to 15.2-2010 of the Code of Virginia, as amended, and that (i) the Director may revoke the license for failure to comply with the requirements of this chapter or the terms of the license and (ii) City Council retains the authority to discontinue any individual license or all licenses issued under this chapter at any time, regardless of compliance;
- (8) The licensee shall acknowledge that the City reserves the right to remove, relocate, or require the removal of the encroachment at any time and without prior notice in the event of an emergency or for the purpose of maintaining, repairing, or installing public utilities or infrastructure. The City shall not be liable for any costs or damages resulting from such removal; and,
- (9) Any terms and conditions reasonably related to public safety, accessibility, or the protection of property, as determined by the Director.

This ordinance shall be effective from the __ day of ____, 2026. Adopted and approved this day of ____, 2026.

MAYOR

ATTESTE:

CITY CLERK

Amend Title 10

Add Chapter 9. Encroachments



- To establish an administrative process for issuing encroachment licenses and to allow downtown outdoor dining licenses in the B-1 district.
- To authorize Community Development to review, issue, and enforce encroachment licenses.
- To provide that encroachment licenses are revocable by the Director of Community Development and/or City Council.



**ORDINANCE ENACTING TITLE 10 – PLANNING AND
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 - (1) A plan or drawing showing the proposed encroachment, including dimensions, clearances from curbs and pedestrian facilities, and relation to buildings, utilities, and property lines;
 - (2) A description of materials, installation method, and duration, if non-permanent;
 - (3) Any additional information the Director determines is reasonably necessary to ensure compliance with applicable safety and accessibility standards; and
 - (4) An application fee of one hundred dollars (\$100.00).
- (f) Each license issued under this section shall be subject to the following conditions:
 - (1) The encroachment shall be located on public property or city right-of-way immediately adjacent to the lawfully existing establishment;
 - (2) The licensee shall fully comply with all plans submitted and approved by the Director in issuing the license;
 - (3) The licensee shall comply with any applicable federal, state, and local laws and regulations;

- (4) The licensee shall agree to repair any damage caused to the sidewalk, pedestrian right-of-way, shared-use path, public utility, or public property in connection with the construction, installation, and maintenance of the encroachment at the expense of the licensee;
- (5) The license cannot be transferred, assigned, or assumed by any other person, firm, limited liability or corporation;
- (6) The licensee shall indemnify and hold harmless the City, its officers, agents, and employees from any and all claims, legal actions, and judgments arising out of or related to the encroachment, and shall at all times maintain liability insurance as required by the City's Purchasing Agent;
- (7) The licensee shall acknowledge that the license is made pursuant to 15.2-2010 of the Code of Virginia, as amended, and that (i) the Director may revoke the license for failure to comply with the requirements of this chapter or the terms of the license and (ii) City Council retains the authority to discontinue any individual license or all licenses issued under this chapter at any time, regardless of compliance;
- (8) The licensee shall acknowledge that the City reserves the right to remove, relocate, or require the removal of the encroachment at any time and without prior notice in the event of an emergency or for the purpose of maintaining, repairing, or installing public utilities or infrastructure. The City shall not be liable for any costs or damages resulting from such removal; and,
- (9) Any terms and conditions reasonably related to public safety, accessibility, or the protection of property, as determined by the Director.

This ordinance shall be effective from the __ day of ____, 2026. Adopted and approved this day of ____, 2026.

MAYOR

ATTESTE:

CITY CLERK

Summary Highlights of Proposed Regulations

- Authorization within B-1 to allow, but not limited to, the following:
 - Installation of Signs, fire escapes, ATMs, kiosks, planters, tables, chairs, umbrellas, etc.
- Application requirements:
 - Plans and drawings (dimensions, locations of utilities and property lines, etc.).
 - Description of the materials and planned installation method.
 - Any additional information reasonably necessary to ensure safety and accessibility standards.
 - Application fee of \$100.
- Each license is subject to the following:
 - Use and items shall be located on public property or ROW adjacent to the establishment and must comply with the submitted plans and other laws.
 - Licensee must repair damages to public property and ROW.
 - Licensee must indemnify and hold harmless the City.
 - Non-transferrable license.
 - The Director of CD and/or City Council may revoke the license for noncompliance.
 - The City may remove or relocate items during an emergency or for maintaining or repairing infrastructure

Recommendation

Staff recommends approving the creation of the proposed ordinance.



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ID 26-178, **Version:** 1

Subject:

Public hearing regarding the real estate tax rate for Fiscal Year 2026-2027 to be set at \$1.01 per \$100 of assessed value

Presented By: City Staff

The January 1, 2026 general reassessment of real property resulted in an increase of 2.5 percent in real property assessments. Pursuant to Section 58.1-3321 of the Code of Virginia, a public hearing must be held when a general reassessment of real property results in an increase of one percent or more in the total real property tax levy. The current real estate tax rate is proposed to remain at \$1.01 per \$100 of assessed value.



May 26, 2026 City Council Meeting

Title

Public hearing regarding the real estate tax rate for Fiscal Year 2026-2027 to be set at \$1.01 per \$100 of assessed value — Larry Propst, Department of Finance

Summary

The January 1, 2026 general reassessment of real property, performed by the Commissioner of the Revenue's office, resulted in an increase of 2.5 percent in real property assessments in the city. The real estate tax rate is being proposed to remain at \$1.01 per \$100 of assessed value.

Recommendation

Option 1. Approve the real estate tax rate to be set at \$1.01 per \$100 of assessed value for Fiscal Year 2026-2027.

Fiscal Impact

It is anticipated that the general reassessment increase of 2.5 percent will provide approximately \$1.3 million in additional real estate tax revenue for Fiscal Year 2026-2027.

Context & Analysis

Pursuant to Section 58.1-3321 of the Code of Virginia, a public hearing must be held when a general reassessment of real property (excluding new construction) results in an increase of one percent or more in the total real property tax levy.

Options

1. N/A

Attachments

1. Public Hearing Notice as advertised in the DNR

NOTICE OF PROPOSED REAL PROPERTY TAX INCREASE

The City of Harrisonburg, Virginia proposes to increase property tax levies.

1. **Assessment Increase:** Total assessed value of real property, excluding additional assessments due to new construction or improvements to property, exceeds last year's total assessed value of real property by 2.5 percent.
2. **Lower Rate Necessary to Offset Increased Assessment:** The tax rate which would levy the same amount of real estate tax as last year, when multiplied by the new total assessed value of real estate with the exclusions mentioned above, would be \$0.986 per \$100 of assessed value. This rate will be known as the "lowered tax rate."
3. **Effective Rate Increase:** The City of Harrisonburg, Virginia proposes to adopt a tax rate of \$1.01 per \$100 of assessed value. The difference between the lowered tax rate and the proposed rate would be \$0.024 per \$100, or 2.5 percent. This difference will be known as the "effective tax rate increase."

Individual property taxes may, however, increase at a percentage greater than or less than the above percentage.

4. **Proposed Total Budget Decrease:** Based on the proposed real property tax rate and changes in other revenues, the total budget of the City of Harrisonburg, Virginia will be less than last year's original adopted budget by 2.2 percent.

A public hearing on the increase will be held on **May 26, 2026 at 7:00 PM**, or as soon as the agenda permits, in the Harrisonburg City Council Chambers located at 409 South Main Street, Harrisonburg, Virginia. Members of the public are encouraged to participate and express their views by attending the meeting in person, or electronically by emailing comments to <https://www.harrisonburgva.gov/agenda-comments>, or by calling in during the public hearing at the telephone number to be listed on the agenda. The agenda will be posted at <https://harrisonburg-va.legistar.com/Calendar.aspx>. Interested parties may watch the City Council meeting including the public hearing, on Public Education Government Channel 3 or on the City's website, <https://harrisonburg-va.legistar.com/Calendar.aspx>.



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ID 26-180, **Version:** 1

Subject:

Presentation on the Point in Time Count

Presented By: Kaitlin Heatwole, HMIS Administrator, Western Virginia Continuum of Care



Western Virginia

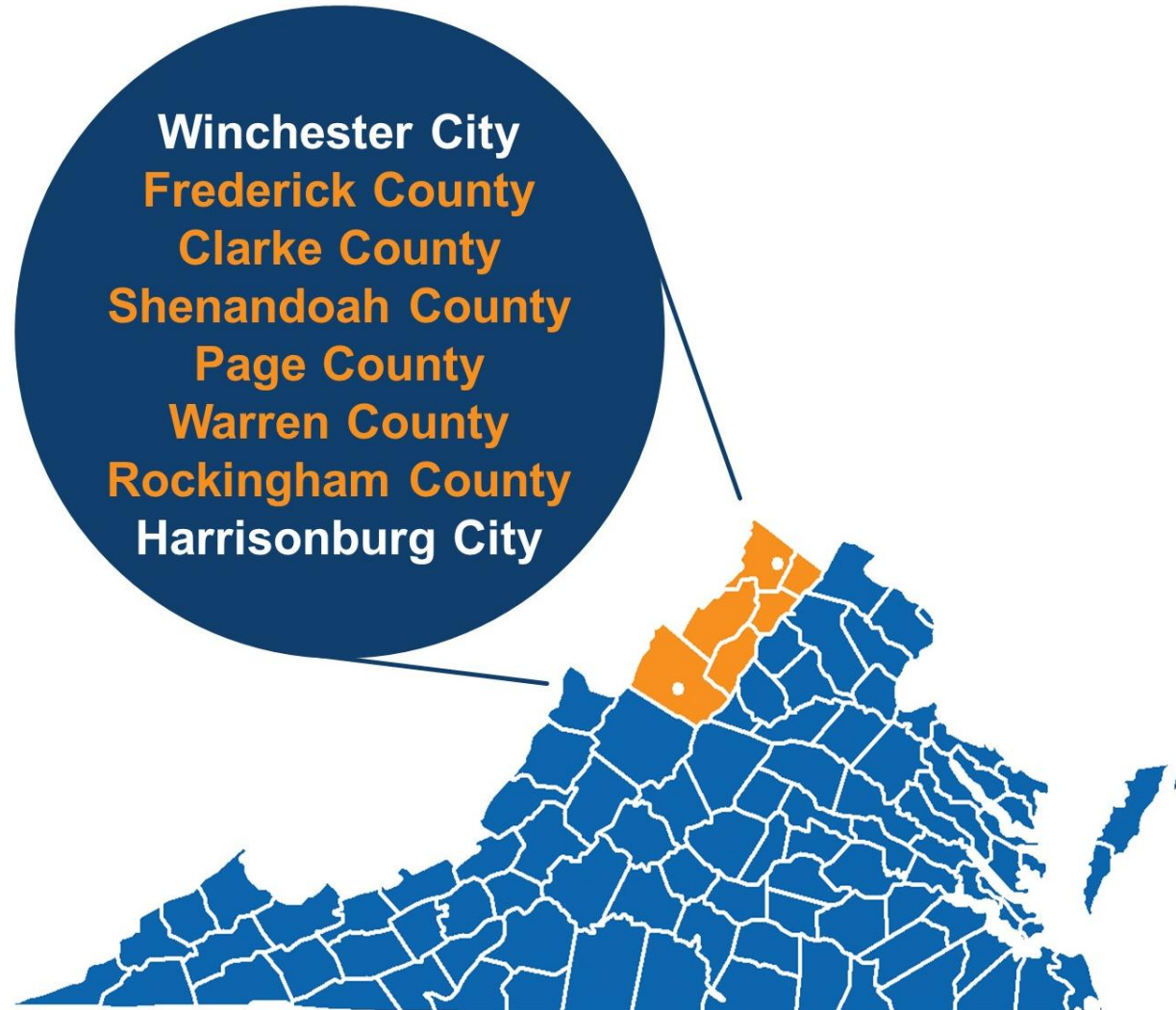
Continuum of Care

Homelessness in Harrisonburg

Kaitlin Heatwole, HMIS Administrator
Harrisonburg City Council
May 26, 2026

Western Virginia Continuum of Care (CoC)

OVERVIEW



QUESTIONS FOR TODAY:

HOW MANY PEOPLE ARE EXPERIENCING HOMELESSNESS?

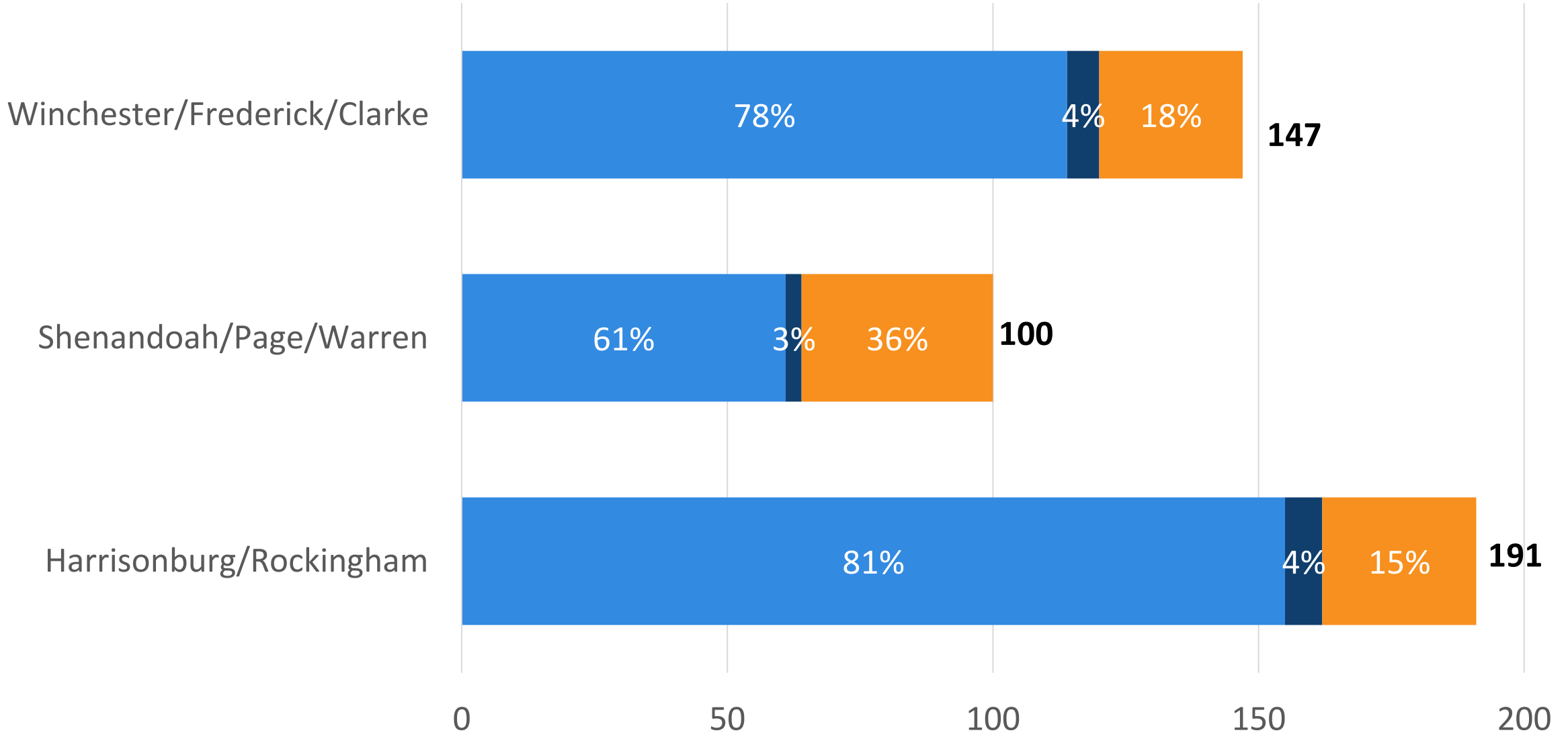
WHY DO PEOPLE BECOME HOMELESS?

WHAT DO THEY NEED TO EXIT HOMELESSNESS?

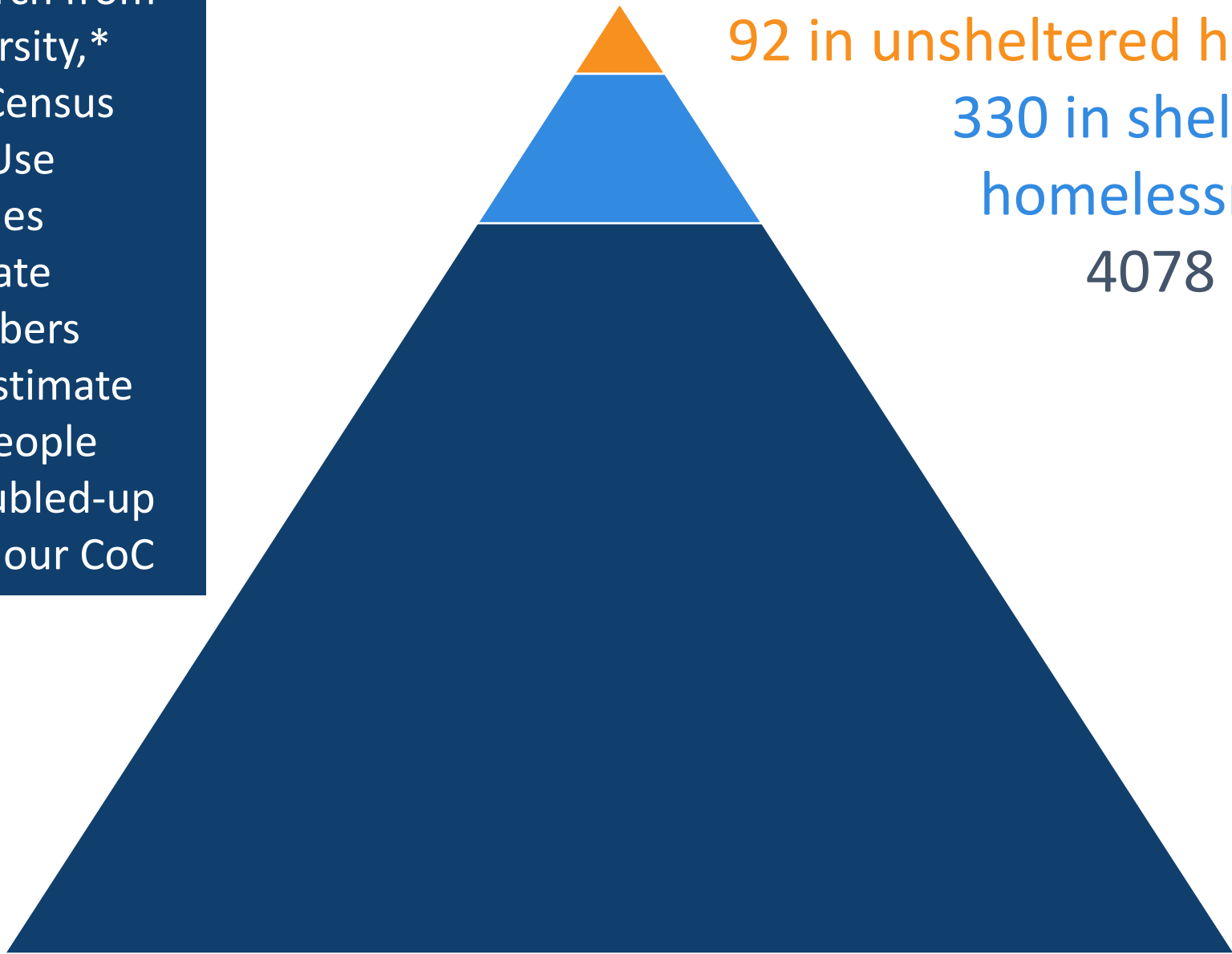
HOW MANY PEOPLE ARE
EXPERIENCING HOMELESSNESS?

422 People Experiencing Literal Homelessness in 2026 Point in Time (PIT) Count

■ Emergency Shelter ■ Domestic Violence Shelter ■ Unsheltered



Replicated research from Vanderbilt University,* which used the Census Bureau's Public-Use Microdata Samples (PUMS) to estimate doubled-up numbers nationwide, to estimate the number of people experiencing doubled-up homelessness in our CoC



92 in unsheltered homelessness

330 in sheltered homelessness

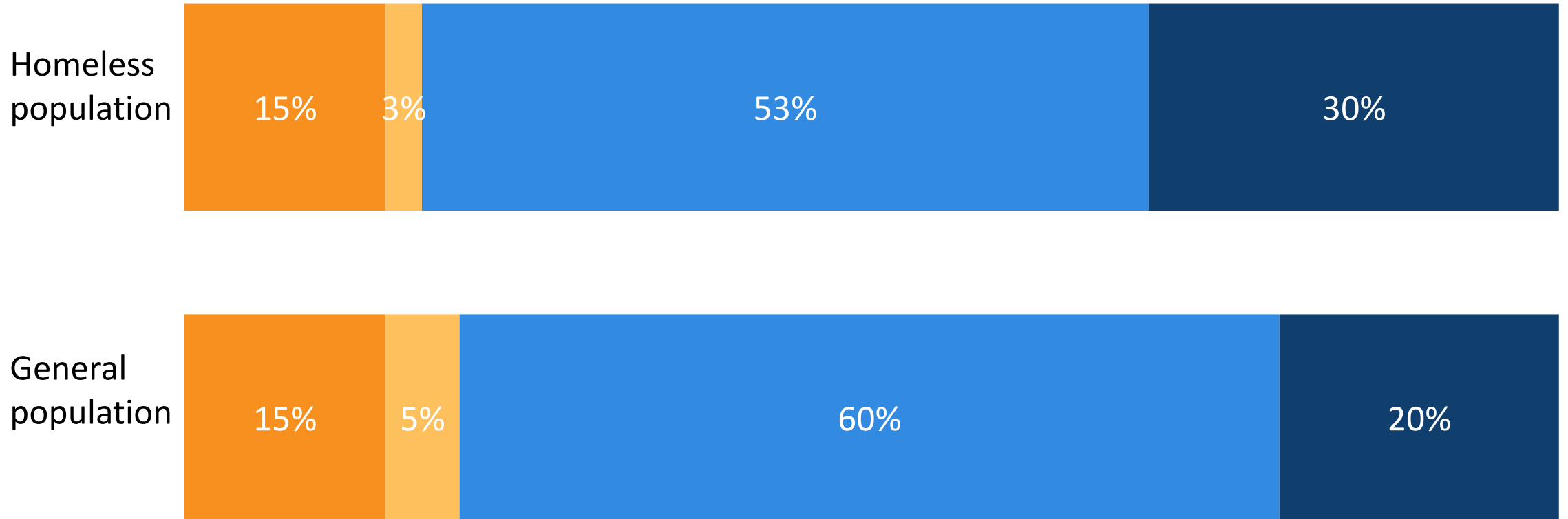
4078 in doubled-up homelessness

* Richard, M.K., Dworkin, J., Rule, K.G., Farooqui, S., Glendening, Z., & Carlson, S. <https://doi.org/10.1080/10511482.2021.1981976> Data sources: 2026 PIT count, 2023 IPUMS USA 175

WHO IS MORE LIKELY
TO EXPERIENCE HOMELESSNESS?

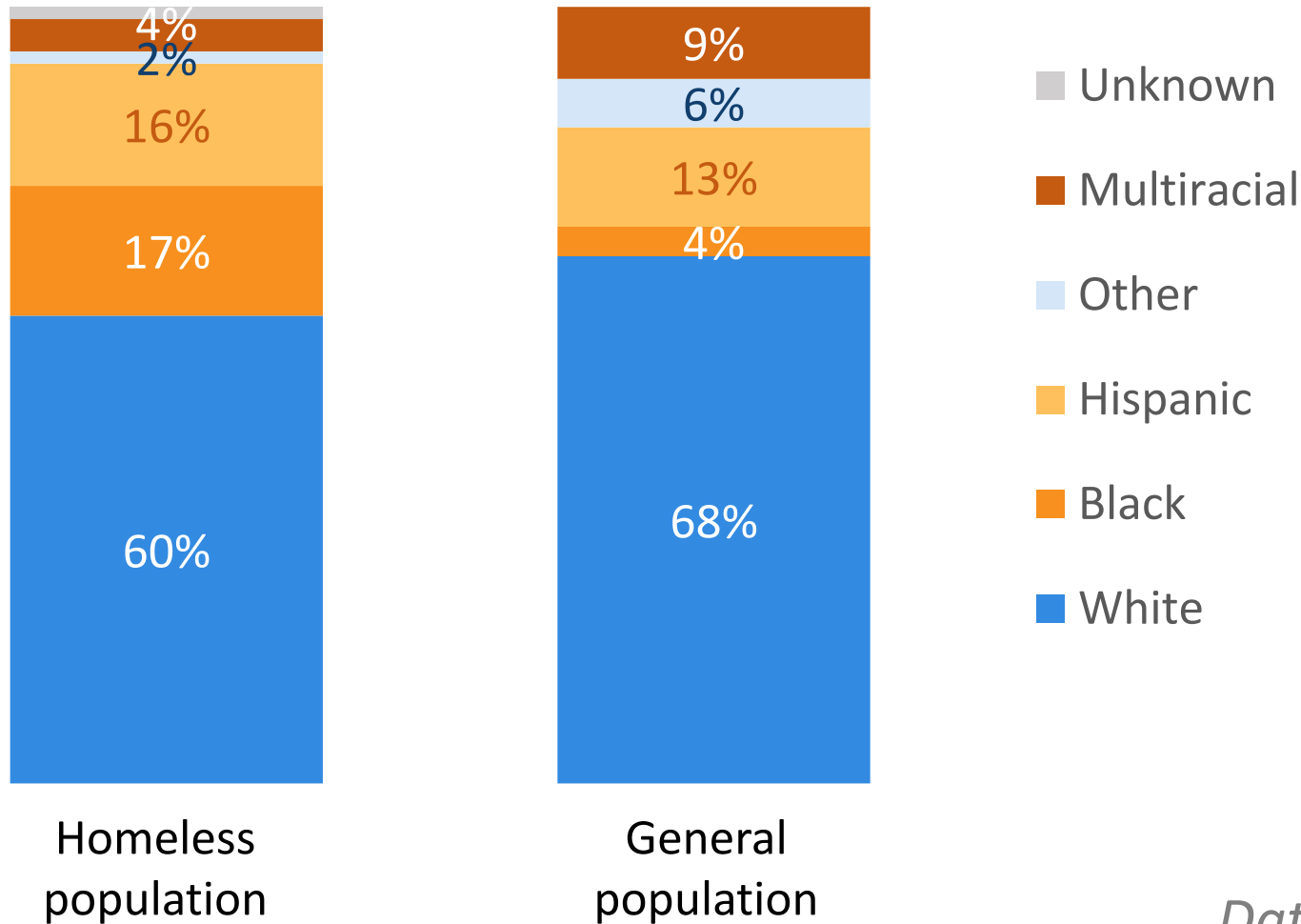
Distribution by Age (Harrisonburg/Rockingham)

Children Youth Adults Older adults



Data sources: 2026 PIT count & 2024 ACS¹⁷⁷

Distribution by Race and Ethnicity (Harrisonburg/Rockingham)



- The majority of people experiencing homelessness are **White (60%)**, which is slightly less than the share of the general population (68%)
- People who identify as **Black** are **disproportionately impacted** by homelessness – 4x the expected rate (17% of homelessness compared to 4% of general population)
- Rates of homelessness for people who identify as **Hispanic*** are slightly disproportionate compared to the general population (16% vs 13%)
- People with **multiple** or **other**** racial identities are less likely to experience homelessness

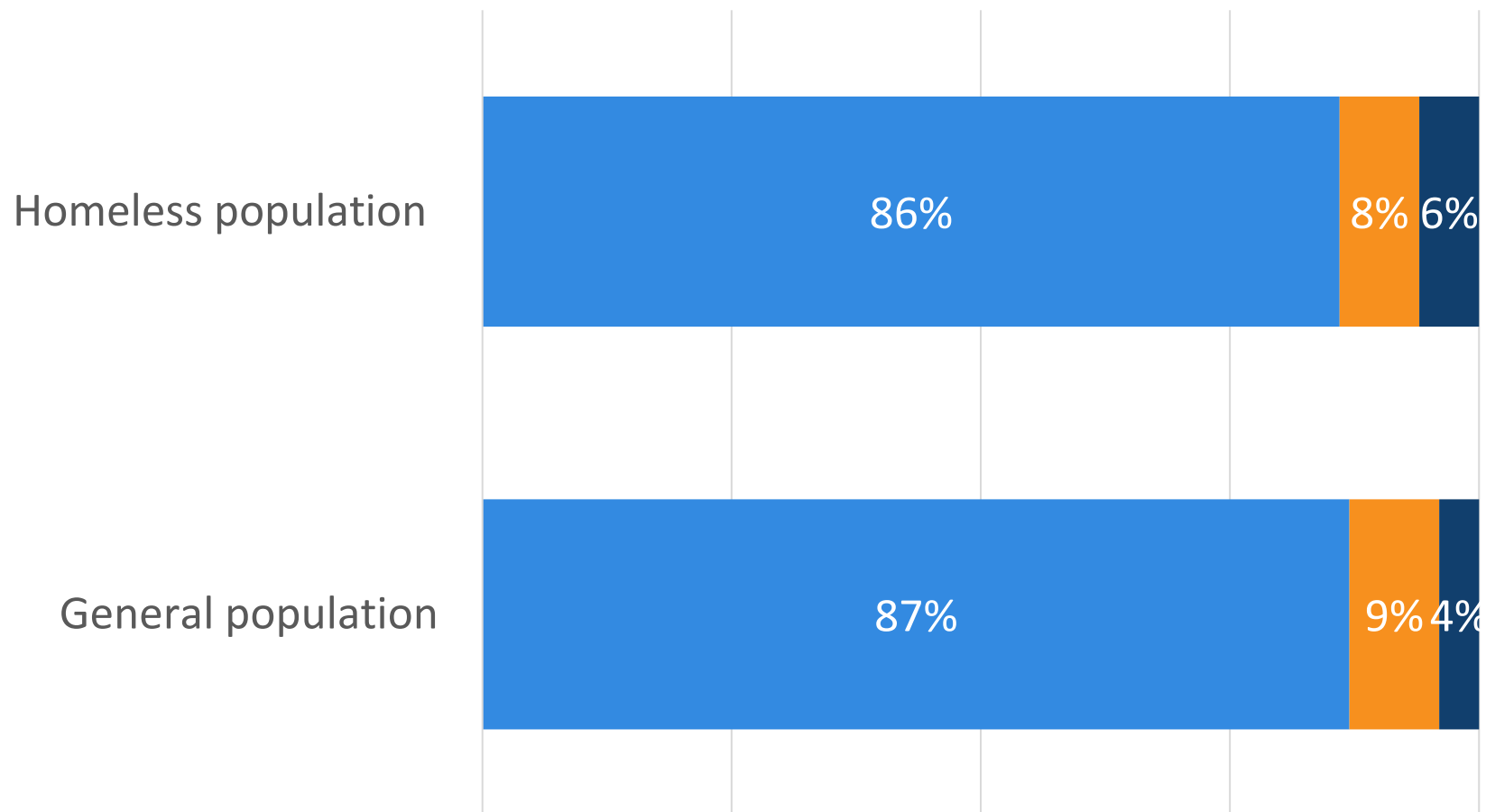
Data sources: 2026 PIT count & 2024 ACS

* Represents those who identify as Hispanic alone and in combination with other identities

** Combined Asian, Native American, Pacific Islander, and Middle Eastern due to small sample sizes

Last residence and residence 1 year ago (Harrisonburg/Rockingham)

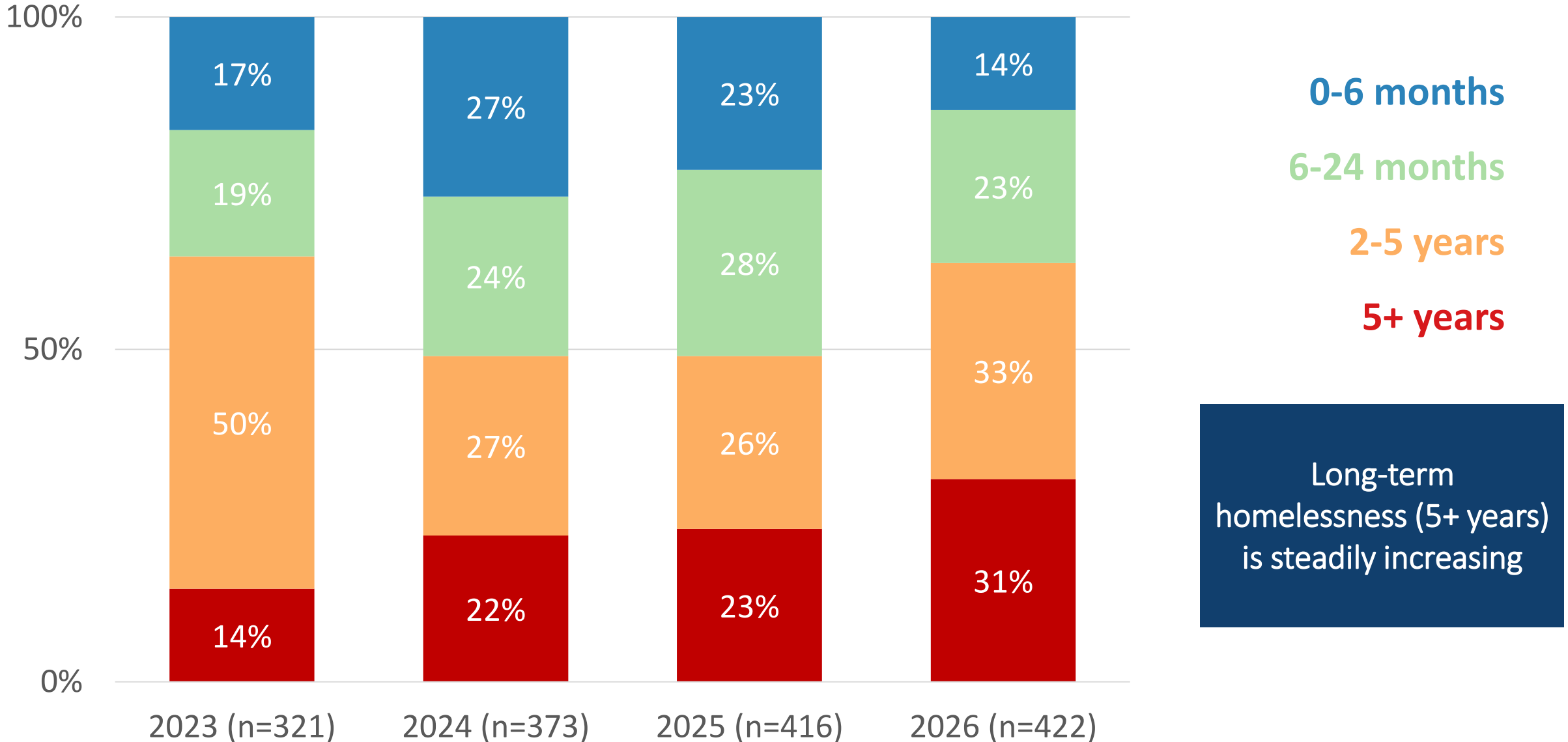
Local Elsewhere in Virginia Outside Virginia



Rate of local origin is roughly equivalent to that of general population

NOTE: using two different data sources (not exact comparison)

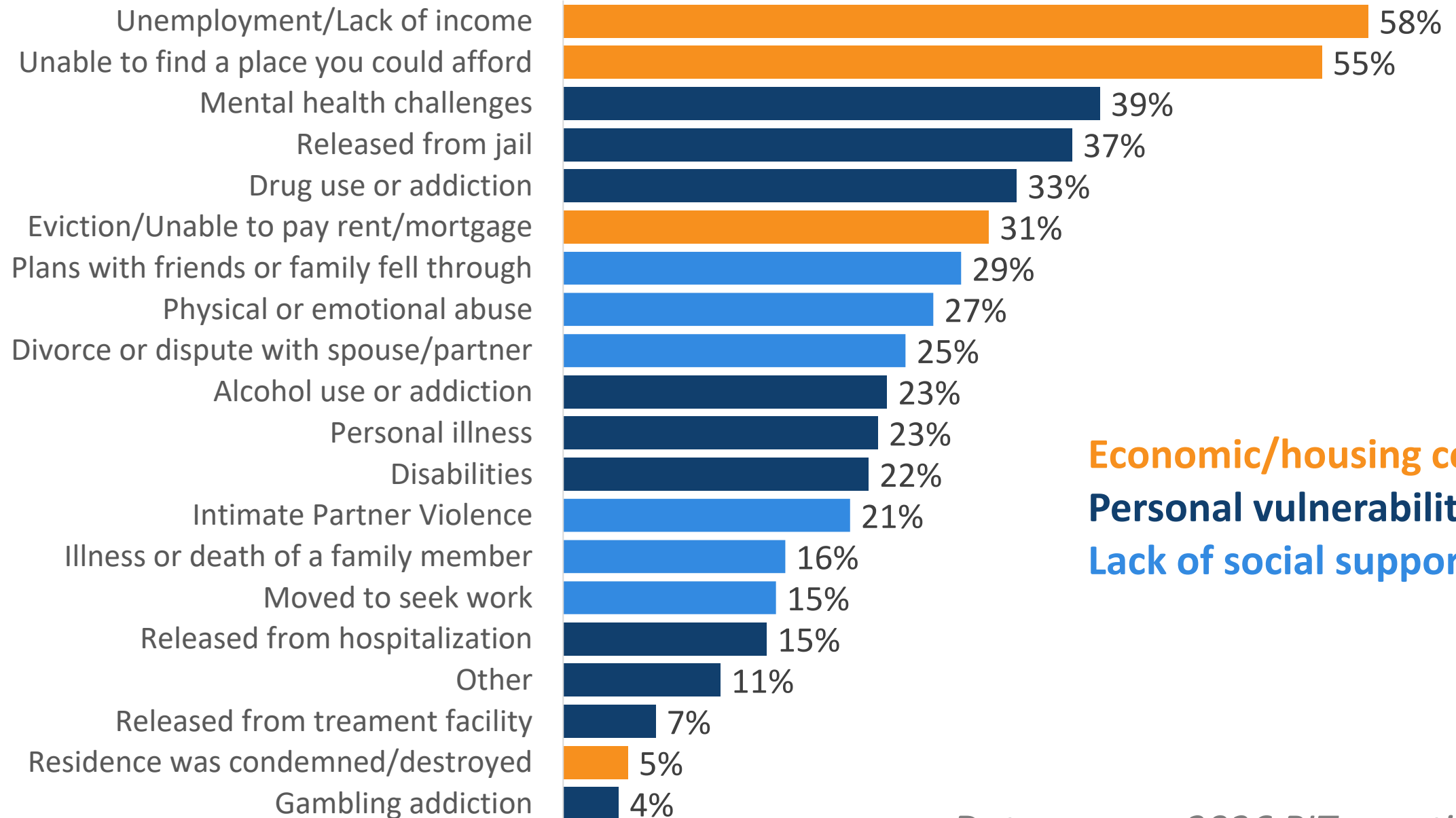
Reported length of time spent homeless throughout life



Long-term homelessness (5+ years) is steadily increasing

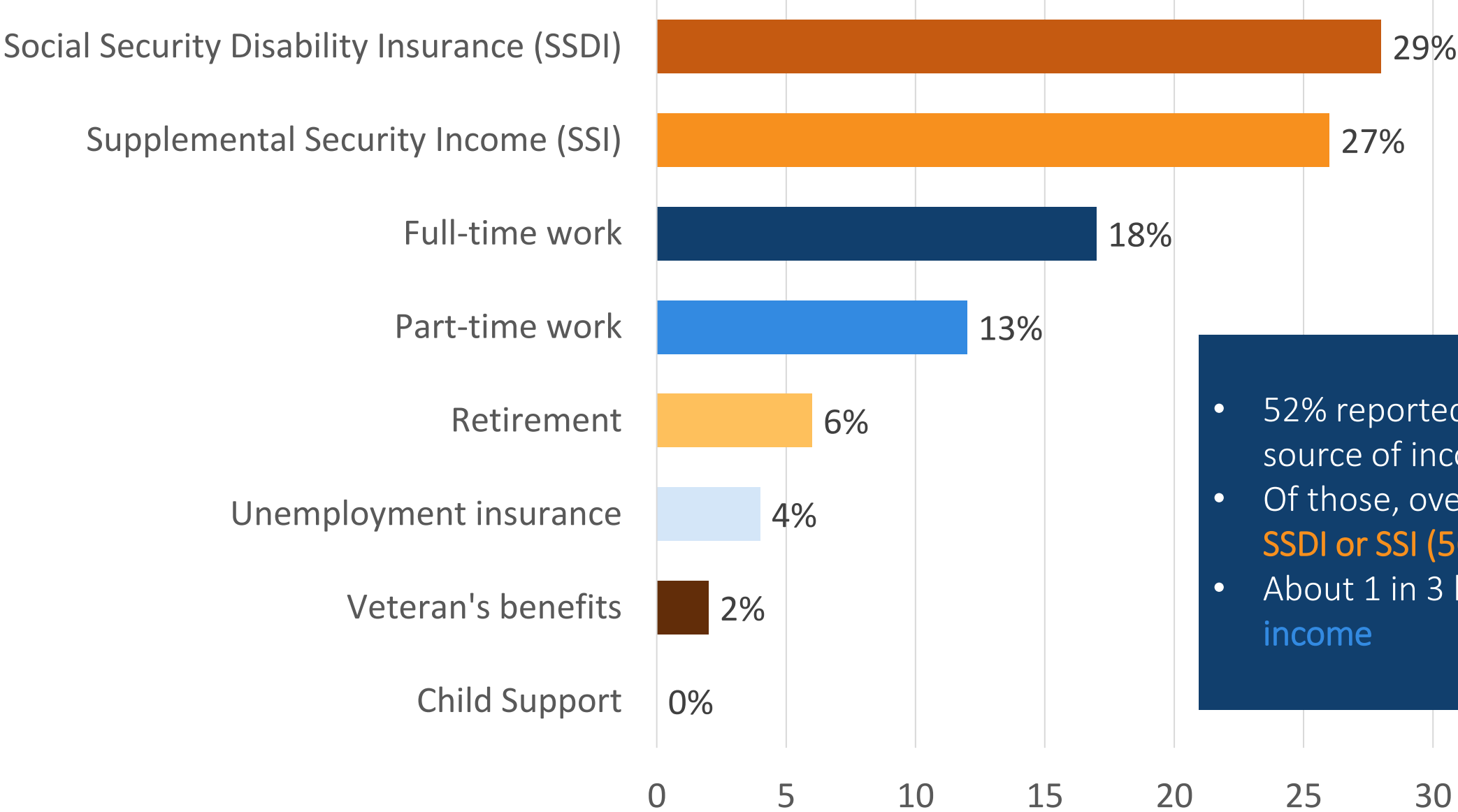
WHY DO PEOPLE BECOME HOMELESS?

Factors Contributing to Homelessness



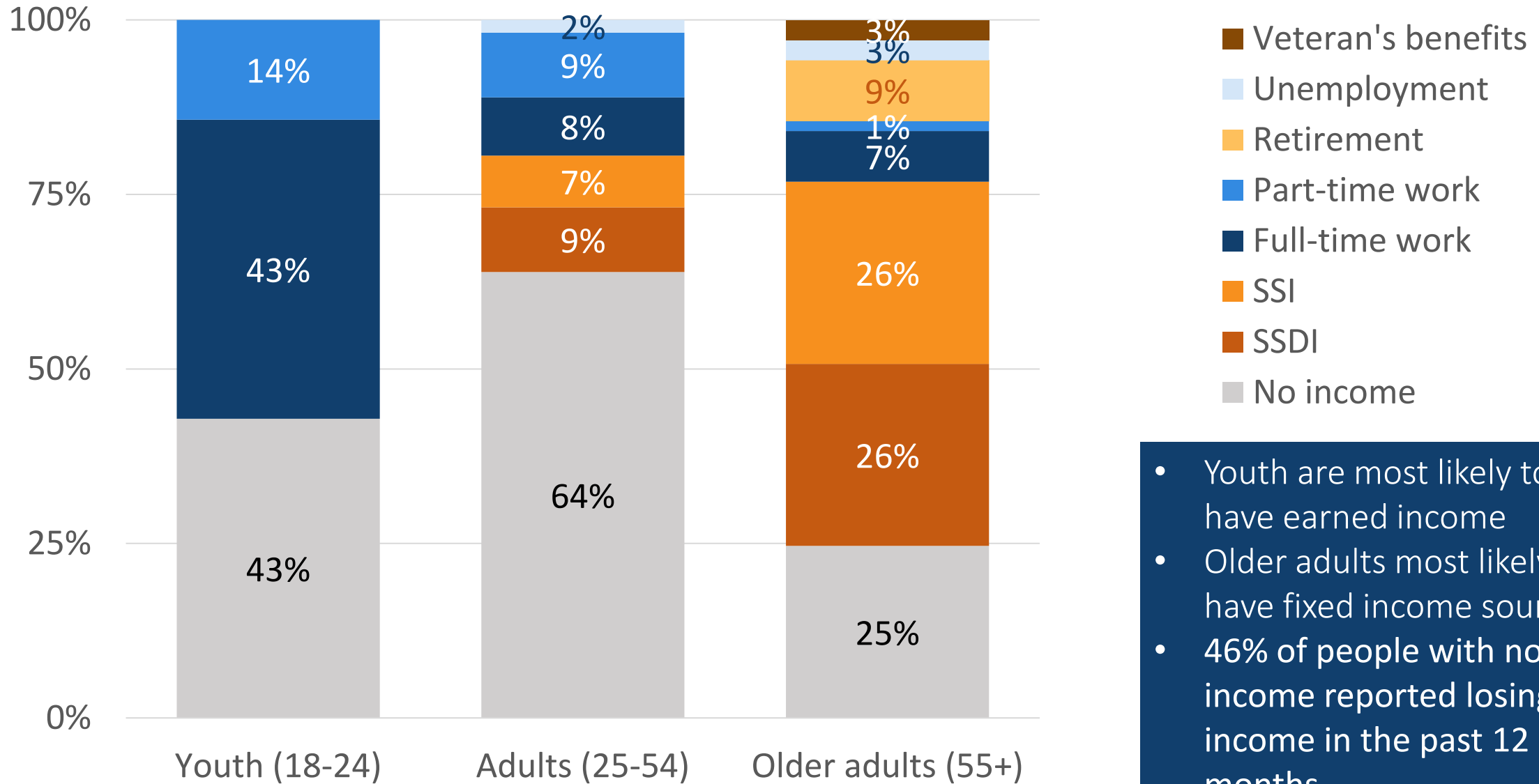
Economic/housing costs
Personal vulnerabilities
Lack of social support

Common income sources in the past 12 months



- 52% reported one or more source of income
- Of those, over half have **SSDI or SSI (56%)**
- About 1 in 3 have **earned income**

Sources of income for people experiencing homelessness by age group



- Youth are most likely to have earned income
- Older adults most likely to have fixed income sources
- 46% of people with no income reported losing income in the past 12 months

ECONOMIC AND HOUSING COST FACTORS

Minimum wage in Virginia is \$12.77 ([Virginia Department of Labor and Industry](#))

- full time, year-round, employment at minimum wage is **\$26,561.60**

Fair Market Rent Values (40th percentile of rents by unit size, including all utility costs) ([HUD](#))

- **\$1050/month** for an Efficiency Apartment (0 bedrooms)
- **\$1801/month** for a 3-bedroom apartment

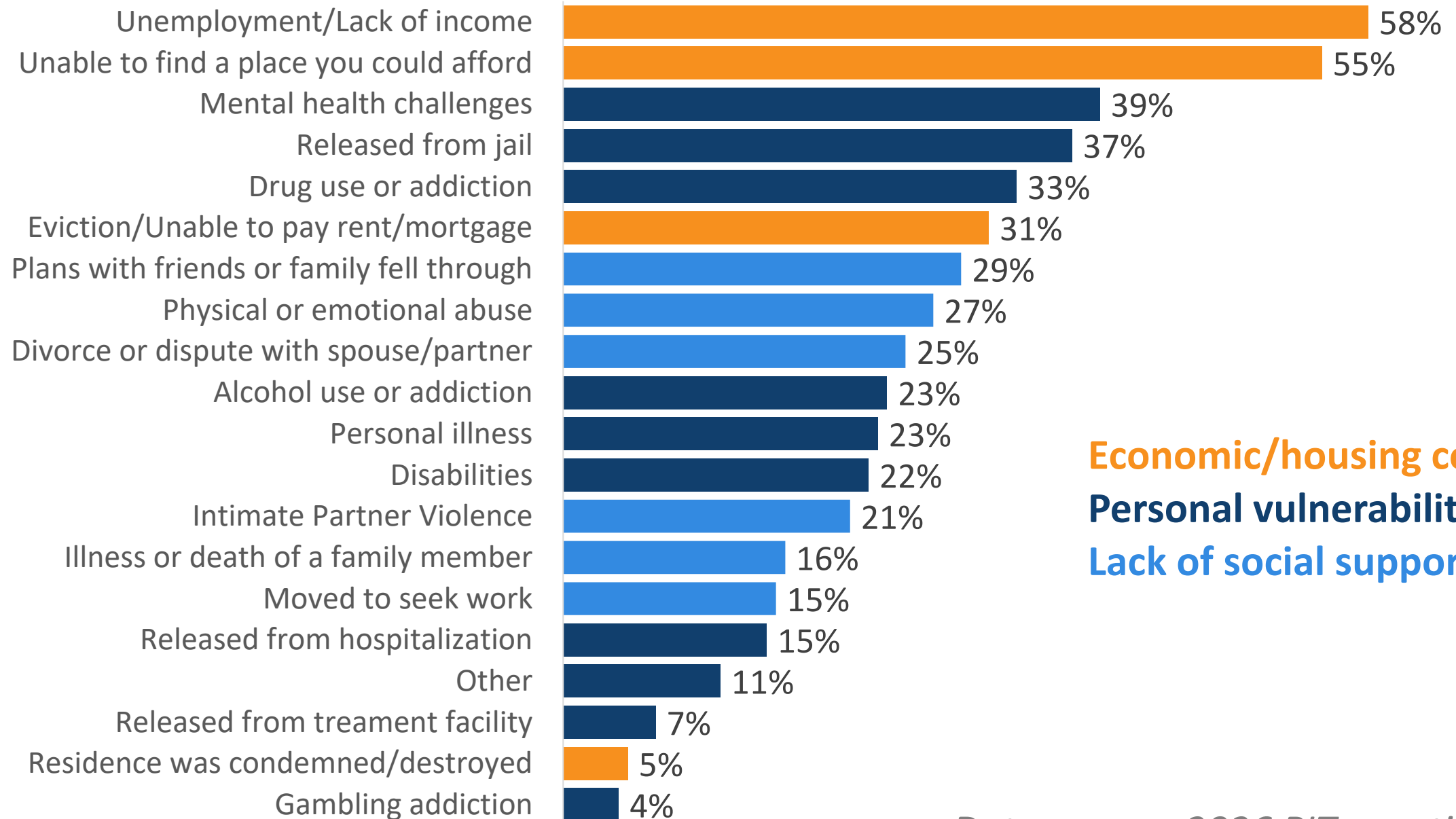
Rent burdened: spending more than 30% of your income on housing costs

- Single person working minimum full time in an efficiency = $\$12,000 / \$26,561.60 = 45\%$ of income
- Two people with 2 kids working \$17/hr full time in a 3-br = $\$21,600 / \$70,720 = 31\%$ of income
- Elderly individual with \$1600/mo SSI paying mortgage and taxes on their 2-br home = **65%** of income

Barriers to housing

- Proof of income 3x rent
- Pay first and last month rent plus deposit ($\$1800 \times 3 = \$5,400$ down)
- Multiple bedrooms for children of different sexes
- Credit score, criminal background checks, eviction history

Factors Contributing to Homelessness



Economic/housing costs
Personal vulnerabilities
Lack of social support

RECAP

- **HOW MANY:** The number of people experiencing homelessness is large (1 in every 727 people)
- **WHO & WHY:** People are experiencing homelessness because they have fallen through the gaps in our society's systems
- **WHAT TO DO:** The solution to homelessness is tied up with how we shape our society

Addressing Social Support and Personal factors

Invest in preventative social services to combat risk that starts in childhood

- Education, social services, healthcare, nutrition, mental health

Offer wrap-around supportive services to people experiencing homelessness

- Access to low-barrier, year-round shelter for everyone
- Street outreach and crisis response teams
- Non-profit substance treatment and peer recovery options
- Adult education and job training
- On-site mental health and medical support
- Rehousing assistance

Addressing Economic and Housing cost factors

- **Increase affordable and low-barrier housing supply**
 - In-fill development and adaptive reuse of existing buildings
 - Pro-social partnerships with local landlords and developers
- **Maximize the number of subsidized and public housing options**
 - Housing Authorities and Housing Choice Vouchers (HCV)
 - State- and federally-funded Permanent Supportive Housing
- **Reduce strain by enacting tenant protections**
 - Enforcing implementation of existing fair housing laws
 - Reducing conversion of housing to short-term rentals
 - Establishing targeted rent freezes for people on fixed incomes



Questions?

Kaitlin Heatwole, HMIS Administrator
kheatwole@harrisonburgrha.com

*Watch recording of
[full data presentation](#)*





Legislation Text

File #: ID 26-179, **Version:** 1

Subject:

Consider Approval of 2026 CDBG Action Plan

Presented By: Kristin McCombe, CDBG Program Manager

A public hearing was held on March 24, 2026 for council to consider approval of the 2026 CDBG Action Plan. A 30-day Public Comment Period was completed on April 27th and no additional comments were received beyond what was heard at the March 24, 2026 public hearing at the council meeting.

Proposed funding categories include:

- Housing \$ 199,500
- Public service activities \$ 43,013.76
- Public facilities \$ 215,800.53
- Program administration \$ 97,495.00

If council approval is obtained, the Annual Action Plan will be submitted to HUD for final approval.



May 26, 2026 City Council Meeting

Title

Public Hearing to Consider Approval of 2026-2027 CDBG Action Plan-- Kristin McCombe, CDBG Program Manager

Summary

Staff will make a short presentation outlining funding recommendations, then ask the council to consider approval. The City has been notified of our final allocation amount of \$487,477. Small adjustments have been made to the Action Plan funding recommendations in accordance with the contingencies that were discussed at the public hearing in March. This will be reviewed in the presentation.

Recommendation

Staff recommends that council approve this item.

Fiscal Impact

This grant, including all administrative costs, is federally funded through HUD.

Context & Analysis

This document requires approval to review federal CDBG funding. The public hearings had the intent of soliciting community engagement. An RFP was printed in the DNR and an email was sent to the email addresses of over 125 interested parties in the city. No additional comments were received during this final 30 day public comment period, beyond the one heard at the public hearing on 3/24/2026.

Options

1. Approve the PY2026 Action Plan
2. Do not approve the PY 2026 Action Plan

Attachments

1. Tentative Schedule
2. Power Point Presentation

TENTATIVE Schedule for 2026-2027 CDBG Program

December 29, 2025	Advertise RFP in DNR & on website for grant proposals.
January 13, 2026	Council Meeting/Public Hearing #1 (get input regarding what types of projects should be funded, what need is, explain purpose of grant and answer questions) – 7:00 PM
January 15, 2026	Training Session for CDBG Applicants, 2pm
February 19, 2026	Grant Application Deadline – receipt by NOON
March 13, 2026	Selection Committee Meeting, Consideration of Proposals, & Development of Action Plan
March 24, 2026	Council Meeting/Public Hearing #2 (Present Budget, 2026 Action Plan, & open thirty-day Public Comment Period – 7:00 PM)
April 27, 2026	All public comments must be received by 9:00 AM on April 27, 2026 to be considered.
May 26, 2026	Council Meeting/Council Final Approval of 2026 CDBG Budget/Action Plan (Council to consider approval of budget, & plan)*
June 1, 2026	Plan due to HUD
July 2026	Anticipated HUD Approval of 2026 CDBG Action Plan

***Funding of specific projects is not final until approved by HUD.**



Community Development Block Grant (CDBG) Program

2026

Annual Action Plan

2026 CDBG Allocation = \$487,477

Rollover Funding = \$68,332.29

TOTAL TO ALLOCATE = \$555,809,29

Housing & Property Improvements

Organization	Requested	Recommended
Public Utilities Infiltration and Flow Program	\$200,000	\$199,500
Total	<u>\$200,000</u>	<u>\$199,500</u>

Planning and Administration (20% MAX)

Organization	Requested	Recommended
City Admin Costs	\$97,495	\$97,495
Total	<u>\$97,495</u>	<u>\$97,495</u>

Public Services (15% MAX)

Organization	Requested	Recommended
New Creation Economic Empowerment Program	\$13,013.76	\$13,013.76
Meals On Wheels	\$30,000.00	\$30,000.00
Total	<u>\$43,013.76</u>	<u>\$43,013.76</u>

Community & Public Facilities

Organization	Requested	Recommended
PW - East Grattan St.	\$337,700.00	
PW School Zone Signage at Various City Schools	\$136,000.00	\$111,000.00
P&R Ralph Sampson Basketball Court Re-Surfacing	\$70,000.00	\$70,000.00
P&R- Hillandale Park Playground Replacement	\$199,500.00	
P&R Morrison Park ADA Sidewalk	\$50,000.00	\$34,800.53
P&R Kiwanis Park Basketball Court Restoration	\$50,000.00	
Total	\$843,200	\$215,800.53

Council to Consider Approval of 2026 CDBG Action Plan



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ORD 26-006, **Version:** 1

Subject:

Consider adopting the Fiscal Year 2026-2027 budget and approving the Appropriation Ordinance

Presented By: City Staff

The proposed Fiscal Year 2026-2027 budget was presented to City Council at its April 14, 2026 meeting and the public hearing was held at its April 28, 2026 meeting. The budget must be approved by May 31, 2026.



May 26, 2026 City Council Meeting

Title

Consider amending the Fiscal Year 2026-2027 Appropriation Ordinance — Larry Propst, Department of Finance

Summary

The proposed Fiscal Year 2026-2027 budget was presented to City Council at its April 14, 2026 meeting and a public hearing was held at its April 28, 2026 meeting. The first reading of the budget occurred at its May 12, 2026 meeting. The budget must be approved by May 31, 2026.

Recommendation

Option 1. Approve the amended Appropriation Ordinance

Fiscal Impact

N/A.

Context & Analysis

The amended appropriation ordinance reflects updates primarily to the Harrisonburg City School Board budget which approved a budget at their most recent meeting. Several amendments are recommended and are summarized as an attachment to the agenda item. The first recommended change is to adjust revenue categories and expenditure functions for the School and School Nutrition Funds. The second recommended change is to adjust the Community Development Block Grant Fund as the city has been notified of the final allocation amount. The adopted Fiscal Year 2026-2027 budget will become effective July 1, 2026.

Options

1. Approve the amended Appropriation Ordinance
2. Do not approve the amended Appropriation Ordinance

Attachments

1. Amended Appropriation Ordinance
2. Summary of Changes to the 2026-2027 Budget

**APPROPRIATION ORDINANCE
OF THE CITY OF HARRISONBURG, VIRGINIA
For the Fiscal Year Ending June 30, 2027**

AN ORDINANCE MAKING APPROPRIATION OF SUMS OF MONEY FOR NECESSARY EXPENDITURES TO THE CITY OF HARRISONBURG, VIRGINIA, FOR THE FISCAL YEAR ENDING JUNE 30, 2027. TO PRESCRIBE THE TERMS, CONDITIONS, AND PROVISIONS WITH RESPECT TO THE ITEMS OF APPROPRIATION AND THEIR PAYMENTS; AND TO REPEAL ALL ORDINANCES WHOLLY IN CONFLICT WITH THIS ORDINANCE, AND ALL PARTS OF ORDINANCES INCONSISTENT WITH THIS ORDINANCE TO THE EXTENT OF SUCH INCONSISTENCY.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HARRISONBURG, VIRGINIA:

SECTION I - GENERAL FUND (1000)

That the following sums of money be and the same hereby are appropriated for the purposes herein specified in this section for the fiscal year ending June 30, 2027:

	General Government Administration:		
110111	City Council	\$	372,280
120111	City Manager		903,874
120211	Communications		566,654
120411	City Attorney		474,299
120511	Human Resources		1,080,239
120811	Independent Auditor		29,510
120912	Commissioner of Revenue		765,842
121012	Assessor		494,238
121112	Equalization Board		3,300
121313	Treasurer		942,227
121511	Finance		1,094,847
122011	Information Technology		3,157,105
122211	Purchasing		259,106
130114	Office of Elections		731,942
	Subtotal	\$	<u>10,875,463</u>
	Public Safety:		
310131	Police Administration	\$	6,168,706
310231	Police Operations		7,311,540
310331	Police Criminal Investigation		2,527,284
310631	Police Special Operations		2,513,942
310731	Police Grants		690,585
320132	Fire Administration		1,564,113

Public Safety (Continued):

320232	Fire Suppression	11,653,640
320332	Fire Prevention	1,048,228
320432	Fire Training	423,738
330231	Court Appointed Attorney	25,000
330531	Regional Juvenile Center (SVJC)	315,100
330731	Regional Jail (MRRJ)	1,835,524
340121	Building Inspection	1,199,801
350131	Animal Control	200,249
350511	Animal Control (SPCA)	599,000
350532	Emergency Management	211,249
350932	Community Paramedic	232,404
360241	Public Safety Building	781,008
	Subtotal	<u>\$ 39,301,111</u>

Public Works:

410121	General Engineering	\$ 1,043,222
410141	Public Works Administration	2,192,553
410241	Highway and Street Maintenance	5,591,845
410341	Public Works Grants	83,262
410441	Street Lights	536,300
410541	Snow and Ice Removal	287,805
410741	Traffic Engineering	2,344,959
410841	Highway and Street Beautification	1,042,249
410941	Downtown Parking Maintenance	175,380
420241	Street and Road Cleaning	506,699
430241	General Properties	613,352
430641	Navigation Center Facility	97,765
	Subtotal	<u>\$ 14,515,391</u>

Health and Welfare:

510111	Local Health Department	\$ 370,463
520511	Community Services Board	1,243,213
530611	Tax Relief for the Elderly/Disabled Veterans	390,000
530911	Navigation Center	150,000
	Subtotal	<u>\$ 2,153,676</u>

Parks, Recreation and Cultural:

710171	Parks Administration	\$ 983,187
710271	Parks	1,965,652
710371	Field Maintenance	572,227
710471	Community Activity Center	638,643
710571	Special Events and Programs	907,718
710671	Simms Recreation Center	632,227

Parks, Recreation and Cultural (Continued):

710771	Aquatics	1,097,587
710871	Athletics	680,984
730171	Golf Course	1,205,771
750511	Regional Library (MRL)	731,596
	Subtotal	<u>\$ 9,415,592</u>

Planning and community development:

810121	Planning	\$ 460,560
810221	Zoning Administration	408,793
810421	Board of Zoning Appeals	8,074
810521	Economic Development	889,074
810821	Tourism and Visitors Services	593,142
820241	Blacks Run Greenway	109,632
	Subtotal	<u>\$ 2,469,275</u>

Other:

910411	Community and Civic Organizations	\$ 1,138,897
910511	Joint Operations with Rockingham County	16,431,960
910811	Conference Center (SVCC)	1,300,000
940111	Reserve for Contingencies	225,000
980142	Debt Service	20,064,544
990111	Transfers to Other Funds	56,998,215
	Subtotal	<u>\$ 96,158,616</u>

Total Appropriation \$ 174,889,124

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 3,918,230
31000	Amount from Fund Balance (Community Paramedic)	159,700
31100	General Property Taxes	83,528,000
31200	Other Local Taxes	59,390,400
31300	Permits, Privilege Fees and Regulatory Fees	567,950
31400	Fines and Forfeitures	565,000
31500	Use of Money and Property	2,075,000
31600	Charges for Services	1,917,700
31800	Miscellaneous	6,085,000
31900	Recovered Costs	924,581
32000	State Revenue	13,172,033
33000	Federal Revenue	253,300
34000	Nonrevenue Receipts	45,630
34200	Transfers from Other Funds	2,286,600
	Total Revenue	<u><u>\$ 174,889,124</u></u>

SECTION II - SCHOOL FUND (1111)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

40610	Instruction	\$ 100,254,772
40620	Administration, Attendance and Health Services	6,739,824
40630	Pupil Transportation	6,728,020
40640	Operations and Maintenance	9,278,903
40670	Debt Services	168,500
40680	Technology	<u>5,753,311</u>
	Total Appropriation	<u><u>\$ 128,923,330</u></u>

To be provided for from the following estimated revenues:

31600	Charges for Services	\$ 635,398
32000	State Revenue	75,430,649
33000	Federal Revenue	4,114,978
34200	Transfers from Other Funds	<u>48,742,305</u>
	Total Revenue	<u><u>\$ 128,923,330</u></u>

SECTION III – SCHOOL NUTRITION FUND (1114)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

40650	Food Service	\$ 7,128,332
40680	Technology	<u>41,000</u>
	Total Appropriation	<u><u>\$ 7,169,332</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 216,282
31600	Charges for Services	185,000
32000	State Revenue	206,125
33000	Federal Revenue	<u>6,561,925</u>
	Total Revenue	<u><u>\$ 7,169,332</u></u>

SECTION IV – EMERGENCY COMMUNICATIONS CENTER FUND (1116)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

321132	Emergency Communications Center	\$	9,012,864
321432	Computer Aided Dispatch (CAD)		1,343,299
321832	Debt Service		113,987
321932	Transfers to Other Funds		<u>1,255,000</u>
	Total Appropriation	\$	<u><u>11,725,150</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$	1,445,000
31500	Use of Money and Property		270,000
31800	Miscellaneous		4,358,470
31900	Recovered Costs		600,000
32000	State Revenue		781,000
33000	Federal Revenue		90,000
34200	Transfers from Other Funds		<u>4,180,680</u>
	Total Revenue	\$	<u><u>11,725,150</u></u>

SECTION V – COMMUNITY DEVELOPMENT BLOCK GRANT FUND (1117)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

810721	Community Development Block Grant	\$	<u>487,477</u>
	Total Appropriation	\$	<u><u>487,477</u></u>

To be provided for from the following estimated revenues:

33000	Federal Revenue	\$	<u>487,477</u>
	Total Revenue	\$	<u><u>487,477</u></u>

SECTION VI - SCHOOL TRANSPORTATION FUND (1118)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

622081	School Buses	\$ 6,334,268
632081	Field Trips and Charters	269,984
662081	Administration	773,007
682081	Debt Service	2,641
692081	Transfers to Other Funds	<u>315,000</u>
	Total Appropriation	\$ <u><u>7,694,900</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 1,232,500
31500	Use of Money and Property	25,000
31600	Charges for Services	6,422,400
31800	Miscellaneous	<u>15,000</u>
	Total Revenue	\$ <u><u>7,694,900</u></u>

SECTION VII – GENERAL CAPITAL PROJECTS FUND (1310)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

910141	Capital Projects (Public Works)	\$ 14,814,635
910171	Capital Projects (Parks & Recreation)	<u>675,000</u>
	Total Appropriation	\$ <u><u>15,489,635</u></u>

To be provided for from the following estimated revenues:

33000	Federal Revenue	\$ 12,714,405
34200	Transfers from Other Funds	<u>2,775,230</u>
	Total Revenue	\$ <u><u>15,489,635</u></u>

SECTION VIII – ECC CAPITAL PROJECTS FUND (1316)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

910132	Capital Projects	\$ <u>1,200,000</u>
	Total Appropriation	\$ <u><u>1,200,000</u></u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	\$ <u>1,200,000</u>
	Total Revenue	\$ <u><u>1,200,000</u></u>

SECTION IX - WATER CAPITAL PROJECTS FUND (1321)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

910161	Capital Projects	\$ <u>2,599,300</u>
	Total Appropriation	\$ <u><u>2,599,300</u></u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	\$ <u>2,599,300</u>
	Total Revenue	\$ <u><u>2,599,300</u></u>

SECTION X – SEWER CAPITAL PROJECTS FUND (1322)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

911161	Capital Projects	\$ <u>1,094,600</u>
	Total Appropriation	\$ <u><u>1,094,600</u></u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	\$ <u>1,094,600</u>
	Total Revenue	\$ <u><u>1,094,600</u></u>

SECTION XI – STORMWATER CAPITAL PROJECTS FUND (1328)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

910541	Capital Projects	\$ <u>1,417,800</u>
	Total Appropriation	\$ <u><u>1,417,800</u></u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	\$ <u>1,417,800</u>
	Total Revenue	\$ <u><u>1,417,800</u></u>

SECTION XII - WATER FUND (2011)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

312061	Administration	\$ 918,889
322061	Pumping, Storage and Monitoring	1,086,055
332061	Transmission and Distribution	1,386,150
342061	Utility Billing	905,316
352061	Miscellaneous	2,732,140
362061	Purification	2,004,474
372061	Capital Outlay	490,000
382061	Debt Service	3,257,536
392061	Transfers to Other Funds	<u>3,703,480</u>
	Total Appropriation	\$ <u><u>16,484,040</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 825,000
31300	Permits, Privilege Fees and Regulatory Fees	200,000
31500	Use of Money and Property	200,000
31600	Charges for Services	13,324,140
31800	Miscellaneous	1,000
31900	Recovered Costs	10,000
34300	Intrafund Transfers	<u>1,923,900</u>
	Total Revenue	\$ <u><u>16,484,040</u></u>

SECTION XIII - SEWER FUND (2012)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

412061	Administration	\$ 1,113,359
422061	Treatment and Disposal	5,464,000
432061	Collection and Transmission	1,435,720
442061	Miscellaneous	1,888,340
452061	Utility Billing	1,034,541
462061	Pumping and Monitoring	463,760
472061	Capital Outlay	389,000
482061	Debt Service	2,695,000
492061	Transfers to Other Funds	2,078,260
	Total Appropriation	\$ <u>16,561,980</u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 795,000
31300	Permits, Privilege Fees and Regulatory Fees	100,000
31500	Use of Money and Property	150,000
31600	Charges for Services	14,164,780
31800	Miscellaneous	1,000
31900	Recovered Costs	39,000
34300	Intrafund Transfers	1,312,200
	Total Revenue	\$ <u>16,561,980</u>

SECTION XIV - PUBLIC TRANSPORTATION FUND (2013)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

812081	Transit Buses	\$ 7,060,143
852081	Paratransit Buses	1,635,256
862081	Administration	1,092,213
872081	Capital Outlay	1,380,000
882081	Debt service	3,772
892081	Transfers to Other Funds	200,000
	Total Appropriation	\$ <u>11,371,384</u>

To be provided for from the following estimated revenues:

31500	Use of Money and Property	\$	60,000
31600	Charges for Services		3,004,945
31900	Recovered Costs		133,719
32000	State Revenue		2,384,480
33000	Federal Revenue		4,538,240
34200	Transfers from Other Funds		<u>1,250,000</u>
	Total Revenue	\$	<u><u>11,371,384</u></u>

SECTION XV – SANITATION FUND (2014)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

922041	Solid Waste Collection	\$	2,526,298
932042	Landfill		253,546
962042	Solid Waste Management		843,796
972043	Capital Outlay		275,000
992042	Transfers to Other Funds		<u>148,400</u>
	Total Appropriation	\$	<u><u>4,047,040</u></u>

To be provided for from the following estimated revenues:

31010	Use of Fund Balance	\$	35,000
31500	Use of Money and Property		35,000
31600	Charges for Services		<u>3,977,040</u>
	Total Revenue	\$	<u><u>4,047,040</u></u>

SECTION XVI – BUSINESS LOAN PROGRAM FUND (2017)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

850521	Revolving Loan Program	\$ <u>100,000</u>
	Total Appropriation	\$ <u><u>100,000</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 89,530
31500	Use of Money and Property	650
31800	Miscellaneous	<u>9,820</u>
	Total Revenue	\$ <u><u>100,000</u></u>

SECTION XVII - STORMWATER FUND (2018)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

452041	Stormwater Management	\$ 1,050,020
472041	Capital Outlay	306,900
492041	Transfers to Other Funds	<u>954,200</u>
	Total Appropriation	\$ <u><u>2,311,120</u></u>

To be provided for from the following estimated revenues:

31500	Use of Money and Property	\$ 16,000
31600	Charges for Services	<u>2,295,120</u>
	Total Revenue	\$ <u><u>2,311,120</u></u>

SECTION XVIII - CENTRAL GARAGE FUND (2111)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

612141	Operating	\$ 2,451,508
662141	Administration	247,310
672141	Capital Outlay	80,000
682141	Debt Service	1,132
692141	Transfers to Other Funds	<u>135,000</u>
	Total Appropriation	\$ <u>2,914,950</u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 215,000
31500	Use of Money and Property	10,000
31600	Charges for Services	2,687,450
31800	Miscellaneous	1,000
31900	Recovered Costs	<u>1,500</u>
	Total Revenue	\$ <u>2,914,950</u>

SECTION XIX - CENTRAL STORES FUND (2112)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

712141	Operating	\$ 239,040
772141	Capital Outlay	<u>2,000</u>
	Total Appropriation	\$ <u>241,040</u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	<u>\$ 241,040</u>
	Total Revenue	\$ <u>241,040</u>

RECAPITULATION

Section I	General Fund	\$ 174,889,124
Section II	School Fund	128,923,330
Section III	School Nutrition Fund	7,169,332
Section IV	Emergency Communications Center (ECC) Fund	11,725,150
Section V	Community Development Block Grant Fund	487,477
Section VI	School Transportation Fund	7,694,900
Section VII	General Capital Projects Fund	15,489,635
Section VIII	ECC Capital Projects Fund	1,200,000
Section IX	Water Capital Projects Fund	2,599,300
Section X	Sewer Capital Projects Fund	1,094,600
Section XI	Stormwater Capital Projects Fund	1,417,800
Section XII	Water Fund	16,484,040
Section XIII	Sewer Fund	16,561,980
Section XIV	Public Transportation Fund	11,371,384
Section XV	Sanitation Fund	4,047,040
Section XVI	Business Loan Program Fund	100,000
Section XVII	Stormwater Fund	2,311,120
Section XVIII	Central Garage Fund	2,914,950
Section XIX	Central Stores Fund	241,040
TOTAL APPROPRIATIONS		\$ <u>406,722,202</u>

All of the monies appropriated as shown by the contained items in Sections I through XIX are appropriated upon the terms, conditions and provisions herein before set forth in connection with said items and those set forth in this section and in accordance with the provisions of the official code of the City of Harrisonburg, Virginia, Edition 1979, now in effect or hereafter adopted or amended, relating hereto.

That the rate of taxation of Real Estate and Manufactured Homes as defined in Section 36-85.3, of the Code of Virginia, 1950, as amended, be fixed at One Dollar and One Cents (\$1.01) on each one hundred dollars (\$100) assessed valuation for fiscal year 2026-2027; and that the rate of taxation on tangible Personal Property (including business vehicles but exclusive of for-hire vehicles) as defined by Article 1 of Chapter 35 of Title 58.1 of the Code of Virginia, be fixed at Three Dollars and Forty-Five Cents (\$3.45) on each one hundred dollars (\$100) assessed valuation for fiscal year 2026-2027 except for the rate on business personal property be fixed at Two Dollars and Twelve Cents (\$2.12) on each one hundred dollars (\$100) assessed valuation for fiscal year 2026-2027; and that the rate of taxation on Machinery and Tools as defined by Article 2 of Chapter 35 of Title 58.1, of the Code of Virginia, be fixed at Two Dollars and Twelve Cents (\$2.12) on each one hundred dollars (\$100) assessed valuation for fiscal year 2026-2027. Real estate taxes are collectible one half on or before December 5, 2026 and one half on or before June 5, 2027. Tangible personal property taxes, manufactured homes taxes and machinery and tools taxes are collectible on or before December 5, 2026. It is expressly provided that the provisions of this Ordinance shall not apply to household goods and personal effects as enumerated in Section 58.1-3504 of said Code, if such goods and effects be owned and used by an individual or by a family or household incident to maintaining an abode, which goods and effects are hereby declared wholly exempt from taxation.

That the rate of fee or service charge imposed on Real Estate property exempt from regular taxation shall be twenty percent (20%) of the real estate tax rate levied by the City Council in the above paragraph, which applies to the real estate for which the City furnished police and fire protection and for the collection and disposal of refuse, and where such real estate is exempt from taxation under Sections 58.1-3606 through 58.1-3608 of the Code of Virginia. Pursuant to Section 58.1-3400 through 58.1-3407 Code of Virginia, as amended, rate of service charge shall be Twenty and Two Tenths Cents (\$0.202) on each one hundred dollars (\$100) of assessed valuation for fiscal year 2026-2027 and are collectible one half on or before December 5, 2026 and one half on or before June 5, 2027. The above service charge shall apply to all real property except those specifically exempted from the service charge as provided in such section. (Such as property owned by the Commonwealth, hospitals, cemeteries, churches, etc.)

As directed by the City Manager, up to \$518,000 shall be closed out and transferred from the School Capital Projects Fund (1311-910114-48759) to reimburse the General Fund for providing startup funding to the School Board for a new Career and Technical Education Program. Up to \$500,000 shall be closed out and transferred from the General Capital Projects Fund (1310-910141-48743) to reimburse the General Fund for preliminary debt service expenditures associated with renovations to the old municipal building.

That any budgeted project in the various capital project funds or any budgeted amounts in other funds, for which funds will not be received (i.e. grants or other intergovernmental revenue) or borrowed as anticipated, may have the appropriation reduced by the amount(s) not received or borrowed as directed by the City Manager.

All ordinances or parts of ordinances inconsistent with the provisions of this ordinance be and the same are hereby repealed.

This ordinance shall become effective July 1, 2026.

Given under my hand this _____ day of _____, 2026.

CITY CLERK

MAYOR

CITY OF HARRISONBURG, VIRGINIA
AMENDED BUDGET
For Fiscal Year 2027

Revenues

Codes	Description	FY 2027 Adopted Budget	FY 2027 Amended Budget	Change
Total Revenue Budget				\$ 407,458,272
1111	School Fund:			
32000	State revenue	\$ 76,349,005	\$ 75,430,649	(918,356)
33000	Federal revenue	3,820,434	4,114,978	294,544
1114	School Nutrition Fund:			
31010	Amount from fund balance	326,017	216,282	(109,735)
1117	Community Development Block Grant Fund:			
33000	Federal revenue	490,000	487,477	(2,523)
Total Amended Revenue Budget				\$ <u>406,722,202</u>

Expenditures

Codes	Description	FY 2027 Adopted Budget	FY 2027 Amended Budget	Change
Total Expenditure Budget				\$ 407,458,272
1111	School Fund:			
40610	Instruction	\$ 99,895,944	\$ 100,254,772	358,828
40620	Admin., attendance and health services	7,036,243	6,739,824	(296,419)
40640	Operations and maintenance	9,371,870	9,278,903	(92,967)
40680	Technology	6,346,565	5,753,311	(593,254)
1114	School Nutrition Fund:			
40650	Food service	7,238,067	7,128,332	(109,735)
1117	Community Development Block Grant Fund:			
810721	Community development block grant	490,000	487,477	(2,523)
Total Amended Expenditure Budget				\$ <u>406,722,202</u>



May 12, 2026 City Council Meeting

Title

Consider adopting the Fiscal Year 2026-2027 budget by approving the Appropriation Ordinance — Larry Propst, Department of Finance

Summary

The proposed Fiscal Year 2026-2027 budget was presented to City Council at its April 14, 2026 meeting and a public hearing was held at its April 28, 2026 meeting. The budget must be approved by May 31, 2026.

Recommendation

Option 1. Approve the Appropriation Ordinance

Fiscal Impact

N/A.

Context & Analysis

The proposed Fiscal Year 2026-2027 budget will become effective July 1, 2026.

Options

1. Approve the Appropriation Ordinance
2. Approve the Appropriation Ordinance with changes
3. Do not approve the Appropriation Ordinance

Attachments

1. Appropriation Ordinance
2. Civic and Community Organizations

**APPROPRIATION ORDINANCE
OF THE CITY OF HARRISONBURG, VIRGINIA
For the Fiscal Year Ending June 30, 2027**

AN ORDINANCE MAKING APPROPRIATION OF SUMS OF MONEY FOR NECESSARY EXPENDITURES TO THE CITY OF HARRISONBURG, VIRGINIA, FOR THE FISCAL YEAR ENDING JUNE 30, 2027. TO PRESCRIBE THE TERMS, CONDITIONS, AND PROVISIONS WITH RESPECT TO THE ITEMS OF APPROPRIATION AND THEIR PAYMENTS; AND TO REPEAL ALL ORDINANCES WHOLLY IN CONFLICT WITH THIS ORDINANCE, AND ALL PARTS OF ORDINANCES INCONSISTENT WITH THIS ORDINANCE TO THE EXTENT OF SUCH INCONSISTENCY.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HARRISONBURG, VIRGINIA:

SECTION I - GENERAL FUND (1000)

That the following sums of money be and the same hereby are appropriated for the purposes herein specified in this section for the fiscal year ending June 30, 2027:

	General Government Administration:		
110111	City Council	\$	372,280
120111	City Manager		903,874
120211	Communications		566,654
120411	City Attorney		474,299
120511	Human Resources		1,080,239
120811	Independent Auditor		29,510
120912	Commissioner of Revenue		765,842
121012	Assessor		494,238
121112	Equalization Board		3,300
121313	Treasurer		942,227
121511	Finance		1,094,847
122011	Information Technology		3,157,105
122211	Purchasing		259,106
130114	Office of Elections		731,942
	Subtotal	\$	<u>10,875,463</u>
	Public Safety:		
310131	Police Administration	\$	6,168,706
310231	Police Operations		7,311,540
310331	Police Criminal Investigation		2,527,284
310631	Police Special Operations		2,513,942
310731	Police Grants		690,585
320132	Fire Administration		1,564,113

Public Safety (Continued):

320232	Fire Suppression	11,653,640
320332	Fire Prevention	1,048,228
320432	Fire Training	423,738
330231	Court Appointed Attorney	25,000
330531	Regional Juvenile Center (SVJC)	315,100
330731	Regional Jail (MRRJ)	1,835,524
340121	Building Inspection	1,199,801
350131	Animal Control	200,249
350511	Animal Control (SPCA)	599,000
350532	Emergency Management	211,249
350932	Community Paramedic	232,404
360241	Public Safety Building	781,008
	Subtotal	<u>\$ 39,301,111</u>

Public Works:

410121	General Engineering	\$ 1,043,222
410141	Public Works Administration	2,192,553
410241	Highway and Street Maintenance	5,591,845
410341	Public Works Grants	83,262
410441	Street Lights	536,300
410541	Snow and Ice Removal	287,805
410741	Traffic Engineering	2,344,959
410841	Highway and Street Beautification	1,042,249
410941	Downtown Parking Maintenance	175,380
420241	Street and Road Cleaning	506,699
430241	General Properties	613,352
430641	Navigation Center Facility	97,765
	Subtotal	<u>\$ 14,515,391</u>

Health and Welfare:

510111	Local Health Department	\$ 370,463
520511	Community Services Board	1,243,213
530611	Tax Relief for the Elderly/Disabled Veterans	390,000
530911	Navigation Center	150,000
	Subtotal	<u>\$ 2,153,676</u>

Parks, Recreation and Cultural:

710171	Parks Administration	\$ 983,187
710271	Parks	1,965,652
710371	Field Maintenance	572,227
710471	Community Activity Center	638,643
710571	Special Events and Programs	907,718
710671	Simms Recreation Center	632,227

Parks, Recreation and Cultural (Continued):

710771	Aquatics	1,097,587
710871	Athletics	680,984
730171	Golf Course	1,205,771
750511	Regional Library (MRL)	731,596
	Subtotal	<u>\$ 9,415,592</u>

Planning and community development:

810121	Planning	\$ 460,560
810221	Zoning Administration	408,793
810421	Board of Zoning Appeals	8,074
810521	Economic Development	889,074
810821	Tourism and Visitors Services	593,142
820241	Blacks Run Greenway	109,632
	Subtotal	<u>\$ 2,469,275</u>

Other:

910411	Community and Civic Organizations	\$ 1,138,897
910511	Joint Operations with Rockingham County	16,431,960
910811	Conference Center (SVCC)	1,300,000
940111	Reserve for Contingencies	225,000
980142	Debt Service	20,064,544
990111	Transfers to Other Funds	56,998,215
	Subtotal	<u>\$ 96,158,616</u>

Total Appropriation \$ 174,889,124

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 3,918,230
31000	Amount from Fund Balance (Community Paramedic)	159,700
31100	General Property Taxes	83,528,000
31200	Other Local Taxes	59,390,400
31300	Permits, Privilege Fees and Regulatory Fees	567,950
31400	Fines and Forfeitures	565,000
31500	Use of Money and Property	2,075,000
31600	Charges for Services	1,917,700
31800	Miscellaneous	6,085,000
31900	Recovered Costs	924,581
32000	State Revenue	13,172,033
33000	Federal Revenue	253,300
34000	Nonrevenue Receipts	45,630
34200	Transfers from Other Funds	2,286,600
	Total Revenue	<u><u>\$ 174,889,124</u></u>

SECTION II - SCHOOL FUND (1111)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

40610	Instruction	\$ 99,895,944
40620	Administration, Attendance and Health Services	7,036,243
40630	Pupil Transportation	6,728,020
40640	Operations and Maintenance	9,371,870
40670	Debt Services	168,500
40680	Technology	<u>6,346,565</u>
	Total Appropriation	<u><u>\$ 129,547,142</u></u>

To be provided for from the following estimated revenues:

31600	Charges for Services	\$ 635,398
32000	State Revenue	76,349,005
33000	Federal Revenue	3,820,434
34200	Transfers from Other Funds	<u>48,742,305</u>
	Total Revenue	<u><u>\$ 129,547,142</u></u>

SECTION III – SCHOOL NUTRITION FUND (1114)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

40650	Food Service	\$ 7,238,067
40680	Technology	<u>41,000</u>
	Total Appropriation	<u><u>\$ 7,279,067</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 326,017
31600	Charges for Services	185,000
32000	State Revenue	206,125
33000	Federal Revenue	<u>6,561,925</u>
	Total Revenue	<u><u>\$ 7,279,067</u></u>

SECTION IV – EMERGENCY COMMUNICATIONS CENTER FUND (1116)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

321132	Emergency Communications Center	\$	9,012,864
321432	Computer Aided Dispatch (CAD)		1,343,299
321832	Debt Service		113,987
321932	Transfers to Other Funds		<u>1,255,000</u>
	Total Appropriation	\$	<u><u>11,725,150</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$	1,445,000
31500	Use of Money and Property		270,000
31800	Miscellaneous		4,358,470
31900	Recovered Costs		600,000
32000	State Revenue		781,000
33000	Federal Revenue		90,000
34200	Transfers from Other Funds		<u>4,180,680</u>
	Total Revenue	\$	<u><u>11,725,150</u></u>

SECTION V – COMMUNITY DEVELOPMENT BLOCK GRANT FUND (1117)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

810721	Community Development Block Grant	\$	<u>490,000</u>
	Total Appropriation	\$	<u><u>490,000</u></u>

To be provided for from the following estimated revenues:

33000	Federal Revenue	\$	<u>490,000</u>
	Total Revenue	\$	<u><u>490,000</u></u>

SECTION VI - SCHOOL TRANSPORTATION FUND (1118)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

622081	School Buses	\$ 6,334,268
632081	Field Trips and Charters	269,984
662081	Administration	773,007
682081	Debt Service	2,641
692081	Transfers to Other Funds	<u>315,000</u>
	Total Appropriation	\$ <u>7,694,900</u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 1,232,500
31500	Use of Money and Property	25,000
31600	Charges for Services	6,422,400
31800	Miscellaneous	<u>15,000</u>
	Total Revenue	\$ <u>7,694,900</u>

SECTION VII – GENERAL CAPITAL PROJECTS FUND (1310)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

910141	Capital Projects (Public Works)	\$ 14,814,635
910171	Capital Projects (Parks & Recreation)	<u>675,000</u>
	Total Appropriation	\$ <u>15,489,635</u>

To be provided for from the following estimated revenues:

33000	Federal Revenue	\$ 12,714,405
34200	Transfers from Other Funds	<u>2,775,230</u>
	Total Revenue	\$ <u>15,489,635</u>

SECTION VIII – ECC CAPITAL PROJECTS FUND (1316)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

910132	Capital Projects	\$ <u>1,200,000</u>
	Total Appropriation	\$ <u><u>1,200,000</u></u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	\$ <u>1,200,000</u>
	Total Revenue	\$ <u><u>1,200,000</u></u>

SECTION IX - WATER CAPITAL PROJECTS FUND (1321)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

910161	Capital Projects	\$ <u>2,599,300</u>
	Total Appropriation	\$ <u><u>2,599,300</u></u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	\$ <u>2,599,300</u>
	Total Revenue	\$ <u><u>2,599,300</u></u>

SECTION X – SEWER CAPITAL PROJECTS FUND (1322)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

911161	Capital Projects	\$ <u>1,094,600</u>
	Total Appropriation	\$ <u><u>1,094,600</u></u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	\$ <u>1,094,600</u>
	Total Revenue	\$ <u><u>1,094,600</u></u>

SECTION XI – STORMWATER CAPITAL PROJECTS FUND (1328)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

910541	Capital Projects	\$ <u>1,417,800</u>
	Total Appropriation	\$ <u><u>1,417,800</u></u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	\$ <u>1,417,800</u>
	Total Revenue	\$ <u><u>1,417,800</u></u>

SECTION XII - WATER FUND (2011)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

312061	Administration	\$ 918,889
322061	Pumping, Storage and Monitoring	1,086,055
332061	Transmission and Distribution	1,386,150
342061	Utility Billing	905,316
352061	Miscellaneous	2,732,140
362061	Purification	2,004,474
372061	Capital Outlay	490,000
382061	Debt Service	3,257,536
392061	Transfers to Other Funds	<u>3,703,480</u>
	Total Appropriation	\$ <u><u>16,484,040</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 825,000
31300	Permits, Privilege Fees and Regulatory Fees	200,000
31500	Use of Money and Property	200,000
31600	Charges for Services	13,324,140
31800	Miscellaneous	1,000
31900	Recovered Costs	10,000
34300	Intrafund Transfers	<u>1,923,900</u>
	Total Revenue	\$ <u><u>16,484,040</u></u>

SECTION XIII - SEWER FUND (2012)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

412061	Administration	\$ 1,113,359
422061	Treatment and Disposal	5,464,000
432061	Collection and Transmission	1,435,720
442061	Miscellaneous	1,888,340
452061	Utility Billing	1,034,541
462061	Pumping and Monitoring	463,760
472061	Capital Outlay	389,000
482061	Debt Service	2,695,000
492061	Transfers to Other Funds	<u>2,078,260</u>
	Total Appropriation	<u><u>\$ 16,561,980</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 795,000
31300	Permits, Privilege Fees and Regulatory Fees	100,000
31500	Use of Money and Property	150,000
31600	Charges for Services	14,164,780
31800	Miscellaneous	1,000
31900	Recovered Costs	39,000
34300	Intrafund Transfers	<u>1,312,200</u>
	Total Revenue	<u><u>\$ 16,561,980</u></u>

SECTION XIV - PUBLIC TRANSPORTATION FUND (2013)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

812081	Transit Buses	\$ 7,060,143
852081	Paratransit Buses	1,635,256
862081	Administration	1,092,213
872081	Capital Outlay	1,380,000
882081	Debt service	3,772
892081	Transfers to Other Funds	<u>200,000</u>
	Total Appropriation	<u><u>\$ 11,371,384</u></u>

To be provided for from the following estimated revenues:

31500	Use of Money and Property	\$	60,000
31600	Charges for Services		3,004,945
31900	Recovered Costs		133,719
32000	State Revenue		2,384,480
33000	Federal Revenue		4,538,240
34200	Transfers from Other Funds		<u>1,250,000</u>
	Total Revenue	\$	<u><u>11,371,384</u></u>

SECTION XV – SANITATION FUND (2014)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

922041	Solid Waste Collection	\$	2,526,298
932042	Landfill		253,546
962042	Solid Waste Management		843,796
972043	Capital Outlay		275,000
992042	Transfers to Other Funds		<u>148,400</u>
	Total Appropriation	\$	<u><u>4,047,040</u></u>

To be provided for from the following estimated revenues:

31010	Use of Fund Balance	\$	35,000
31500	Use of Money and Property		35,000
31600	Charges for Services		<u>3,977,040</u>
	Total Revenue	\$	<u><u>4,047,040</u></u>

SECTION XVI – BUSINESS LOAN PROGRAM FUND (2017)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

850521	Revolving Loan Program	\$ <u>100,000</u>
	Total Appropriation	\$ <u><u>100,000</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 89,530
31500	Use of Money and Property	650
31800	Miscellaneous	<u>9,820</u>
	Total Revenue	\$ <u><u>100,000</u></u>

SECTION XVII - STORMWATER FUND (2018)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

452041	Stormwater Management	\$ 1,050,020
472041	Capital Outlay	306,900
492041	Transfers to Other Funds	<u>954,200</u>
	Total Appropriation	\$ <u><u>2,311,120</u></u>

To be provided for from the following estimated revenues:

31500	Use of Money and Property	\$ 16,000
31600	Charges for Services	<u>2,295,120</u>
	Total Revenue	\$ <u><u>2,311,120</u></u>

SECTION XVIII - CENTRAL GARAGE FUND (2111)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

612141	Operating	\$ 2,451,508
662141	Administration	247,310
672141	Capital Outlay	80,000
682141	Debt Service	1,132
692141	Transfers to Other Funds	<u>135,000</u>
	Total Appropriation	\$ <u><u>2,914,950</u></u>

To be provided for from the following estimated revenues:

31000	Amount from Fund Balance	\$ 215,000
31500	Use of Money and Property	10,000
31600	Charges for Services	2,687,450
31800	Miscellaneous	1,000
31900	Recovered Costs	<u>1,500</u>
	Total Revenue	\$ <u><u>2,914,950</u></u>

SECTION XIX - CENTRAL STORES FUND (2112)

That the following sums of money be and the same hereby are appropriated for the purposes specified in this section for the fiscal year ending June 30, 2027:

712141	Operating	\$ 239,040
772141	Capital Outlay	<u>2,000</u>
	Total Appropriation	\$ <u><u>241,040</u></u>

To be provided for from the following estimated revenues:

34200	Transfers from Other Funds	<u>\$ 241,040</u>
	Total Revenue	\$ <u><u>241,040</u></u>

RECAPITULATION

Section I	General Fund	\$ 174,889,124
Section II	School Fund	129,547,142
Section III	School Nutrition Fund	7,279,067
Section IV	Emergency Communications Center (ECC) Fund	11,725,150
Section V	Community Development Block Grant Fund	490,000
Section VI	School Transportation Fund	7,694,900
Section VII	General Capital Projects Fund	15,489,635
Section VIII	ECC Capital Projects Fund	1,200,000
Section IX	Water Capital Projects Fund	2,599,300
Section X	Sewer Capital Projects Fund	1,094,600
Section XI	Stormwater Capital Projects Fund	1,417,800
Section XII	Water Fund	16,484,040
Section XIII	Sewer Fund	16,561,980
Section XIV	Public Transportation Fund	11,371,384
Section XV	Sanitation Fund	4,047,040
Section XVI	Business Loan Program Fund	100,000
Section XVII	Stormwater Fund	2,311,120
Section XVIII	Central Garage Fund	2,914,950
Section XIX	Central Stores Fund	241,040
TOTAL APPROPRIATIONS		\$ <u>407,458,272</u>

All of the monies appropriated as shown by the contained items in Sections I through XIX are appropriated upon the terms, conditions and provisions herein before set forth in connection with said items and those set forth in this section and in accordance with the provisions of the official code of the City of Harrisonburg, Virginia, Edition 1979, now in effect or hereafter adopted or amended, relating hereto.

That the rate of taxation of Real Estate and Manufactured Homes as defined in Section 36-85.3, of the Code of Virginia, 1950, as amended, be fixed at One Dollar and One Cents (\$1.01) on each one hundred dollars (\$100) assessed valuation for fiscal year 2026-2027; and that the rate of taxation on tangible Personal Property (including business vehicles but exclusive of for-hire vehicles) as defined by Article 1 of Chapter 35 of Title 58.1 of the Code of Virginia, be fixed at Three Dollars and Forty-Five Cents (\$3.45) on each one hundred dollars (\$100) assessed valuation for fiscal year 2026-2027 except for the rate on business personal property be fixed at Two Dollars and Twelve Cents (\$2.12) on each one hundred dollars (\$100) assessed valuation for fiscal year 2026-2027; and that the rate of taxation on Machinery and Tools as defined by Article 2 of Chapter 35 of Title 58.1, of the Code of Virginia, be fixed at Two Dollars and Twelve Cents (\$2.12) on each one hundred dollars (\$100) assessed valuation for fiscal year 2026-2027. Real estate taxes are collectible one half on or before December 5, 2026 and one half on or before June 5, 2027. Tangible personal property taxes, manufactured homes taxes and machinery and tools taxes are collectible on or before December 5, 2026. It is expressly provided that the provisions of this Ordinance shall not apply to household goods and personal effects as enumerated in Section 58.1-3504 of said Code, if such goods and effects be owned and used by an individual or by a family or household incident to maintaining an abode, which goods and effects are hereby declared wholly exempt from taxation.

That the rate of fee or service charge imposed on Real Estate property exempt from regular taxation shall be twenty percent (20%) of the real estate tax rate levied by the City Council in the above paragraph, which applies to the real estate for which the City furnished police and fire protection and for the collection and disposal of refuse, and where such real estate is exempt from taxation under Sections 58.1-3606 through 58.1-3608 of the Code of Virginia. Pursuant to Section 58.1-3400 through 58.1-3407 Code of Virginia, as amended, rate of service charge shall be Twenty and Two Tenths Cents (\$0.202) on each one hundred dollars (\$100) of assessed valuation for fiscal year 2026-2027 and are collectible one half on or before December 5, 2026 and one half on or before June 5, 2027. The above service charge shall apply to all real property except those specifically exempted from the service charge as provided in such section. (Such as property owned by the Commonwealth, hospitals, cemeteries, churches, etc.)

As directed by the City Manager, up to \$518,000 shall be closed out and transferred from the School Capital Projects Fund (1311-910114-48759) to reimburse the General Fund for providing startup funding to the School Board for a new Career and Technical Education Program. Up to \$500,000 shall be closed out and transferred from the General Capital Projects Fund (1310-910141-48743) to reimburse the General Fund for preliminary debt service expenditures associated with renovations to the old municipal building.

That any budgeted project in the various capital project funds or any budgeted amounts in other funds, for which funds will not be received (i.e. grants or other intergovernmental revenue) or borrowed as anticipated, may have the appropriation reduced by the amount(s) not received or borrowed as directed by the City Manager.

All ordinances or parts of ordinances inconsistent with the provisions of this ordinance be and the same are hereby repealed.

This ordinance shall become effective July 1, 2026.

Given under my hand this _____ day of _____, 2026.

CITY CLERK

MAYOR

FY 2027 Civic and Community Organization Grant

\$400,000 Allocation

Organization	2025-2026 Award	2026-2027 Request	Amount Recommended
Able Solutions, Inc.	\$1,478	\$25,116	\$6,279
Act One Theater Company	N/A	\$5,000	\$500
Adagio House	\$10,000	\$25,000	\$6,250
Arc of Harrisonburg and Rockingham Inc	\$10,000	\$20,000	\$17,000
Arts Council of the Valley	\$15,000	\$14,078	\$3,520
Big Brothers Big Sisters of Harrisonburg - Rockingham County, Inc.	\$18,750	\$25,000	\$15,000
Blue Ridge CASA for Children	\$11,250	\$11,500	\$6,900
Blue Ridge Free Clinic	\$480	\$4,800	\$1,200
Blue Ridge Legal Services, Inc.	\$16,443	\$21,924	\$18,636
Boys & Girls Club of Harrisonburg and Rockingham County	\$22,500	\$25,899	\$22,015
Brain Injury Connections of the Shenandoah Valley	\$9,600	\$16,000	\$13,600
Bridge of Hope Harrisonburg Rockingham	\$12,884	\$17,429	\$14,815
Central Valley Habitat for Humanity	N/A	\$20,000	\$2,000
Church World Service	\$11,250	\$30,000	\$18,000
Collins Center and Child Advocacy Center	\$15,075	\$25,000	\$15,000
Community Counseling Center	\$6,000	\$15,000	\$3,750
Explore More Discovery Museum	\$18,750	\$25,000	\$21,250
Fairfield Center	N/A	\$20,000	\$5,000
Family Life Resource Center Inc	N/A	\$4,900	\$490
First Step: A Response to Domestic Violence	\$18,750	\$25,000	\$21,250
Foundation for Rehabilitation Equipment & Endowment	N/A	\$4,850	\$485
Harrisonburg Dance Cooperative	\$400	\$1,000	\$100
Harrisonburg Rockingham Child Day Care Center	\$18,750	\$30,000	\$25,500
Healthy Community Health Center	\$3,000	\$30,000	\$7,500
Mercy House, Inc	\$22,500	\$30,000	\$25,500
New Community Project/Vine & Fig	N/A	\$19,325	\$1,933
New Creation VA	\$500	\$25,000	\$15,000
NewBridges Immigrant Resource Center	\$14,835	\$18,754	\$11,253
OASIS	\$450	\$3,600	\$0
On the Road Collaborative	\$20,370	\$27,418	\$23,306
Our Community Place	\$18,415	\$19,750	\$4,938
People Helping People	\$500	\$15,600	\$1,560
Rocktown History	\$495	\$4,925	\$1,232
Rocktown House of Music Scholarships	N/A	\$4,928	\$493
Salvation Army	\$3,000	\$10,000	\$1,000
Second Home Learning Center	\$15,000	\$21,000	\$17,850
Shenandoah Housing Corp	N/A	\$30,000	\$3,000
Shenandoah Valley Scholars Latino Initiative Inc	N/A	\$13,847	\$1,385
Skyline Literacy	\$14,250	\$12,900	\$10,965
Strength In Peers, Inc.	\$4,200	\$15,000	\$3,750
United Way of Central Shenandoah Valley	\$1,500	\$20,000	\$2,000
Valley Associates for Independent Living	\$2,000	\$6,000	\$5,100
Valley Program for Aging Services	\$15,000	\$20,000	\$5,000
Village to Village	\$2,000	\$5,000	\$1,250
Way to Go, Inc.	\$9,480	\$24,284	\$14,571
Welcoming Harrisonburg Council	N/A	\$3,000	\$750
Youth Popular Culture Institute, Inc,	\$2,000	\$20,000	\$2,000
TOTAL		\$812,827	\$399,876



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: RES 26-003, **Version:** 1

Subject:

Consider adopting a resolution for the Virginia Department of Transportation (VDOT) Project Funding and Signature Authority

Presented By: Thomas Hartman, PE, PTOE, Director of Public Works

City Council will consider adopting a resolution that pertains to transportation projects funded by the Virginia Department of Transportation.



HARRISONBURG | VA
FRIENDLY BY NATURE



May 26, 2026, City Council Meeting

Title

Virginia Department of Transportation (VDOT) Project Funding and Signature Resolution

Summary

City Council will consider adopting a resolution that pertains to transportation projects funded by the Virginia Department of Transportation.

Recommendation

Adopt Resolution as presented.

Fiscal Impact

N/A

Context & Analysis

When applying for Federal and State Transportation Funds, VDOT requires that a locality have a blanket resolution in place that grants an individual(s) in that locality the authority to enter into the necessary project administration agreements. VDOT also requires that, when applying for Federal or State funds through a VDOT grant program, that the locality commits to providing any required matching funds at the time of grant submission.

The attached resolution grants the City Manager or Deputy City Manager this authority, and it also states that the City commits to funding any required local funds as outlined in the project administration agreement.

Options

N/A

Attachments

N/A

**RESOLUTION
FOR BLANKET PROJECT FUNDING COMMITMENT AND
FOR BLANKET SIGNATURE AUTHORITY**

WHEREAS, the City of Harrisonburg administers transportation projects under agreement with the Virginia Department of Transportation; and

WHEREAS, the City of Harrisonburg desires to provide clear commitment for funding these transportation projects and clear signature authority for signing the Project Administration agreements.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Harrisonburg, Virginia that:

1. The City of Harrisonburg hereby commits to fund its local share of preliminary engineering, right-of-way and construction (as applicable) of the project(s) under agreement with the Virginia Department of Transportation in accordance with the project financial document(s).
2. The City Manager or Deputy City Manager is authorized to execute all agreements and/or addendums for any approved projects with the Virginia Department of Transportation.

Adopted this 26th day of May 2026

MAYOR

ATTEST: _____



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ID 26-175, **Version:** 1

Subject:

Presentation of the Downtown Master Planting Plan

Presented By: Jeremy Harold, Greenspace Manager

The Public Works Department will present the Downtown Master Planting Plan.



May 26, 2026, City Council Meeting

Title

Downtown Master Planting Plan – Jeremy Harold, Public Works

Summary

The Public Works Department will present Downtown Master Planting Plan to City Council.

Recommendation

N/A

Fiscal Impact

N/A

Context & Analysis

In recent years, the City has expanded several environmental initiatives including the pollinator, stormwater, and urban forestry programs as well as the expansion of green infrastructure citywide. As part of these initiatives, several studies and plans have been developed including the Downtown Streetscape Plan, Pollinator Management Plan, and the Urban Forestry Management Plan. The Downtown Master Planting Plan focuses on the City’s downtown district to envision landscape features and plantings to create an updated and cohesive appearance.

Following this presentation, Public Works will release a public survey to solicit community feedback on the proposed plan and provide an opportunity for additional public comments. Once all comments have been received and thoroughly reviewed, Public Works will incorporate any revisions deemed appropriate and will subsequently present the plan to City Council for consideration and adoption.

This plan was made possible through grant funding from the Virginia Department of Forestry’s Urban and Community Forestry Program and the Virginia Tech Community Design Assistance Center (CDAC).

Options

1. Adopt Downtown Master Planting Plan

Attachments

1. Presentation
2. Planting Downtown Harrisonburg- Final Design

PLANTING DOWNTOWN HARRISONBURG

FINAL DESIGN PRESENTATION - MAR 26, 2026



COLLEGE OF ARCHITECTURE, ARTS, AND DESIGN
COMMUNITY DESIGN
ASSISTANCE CENTER
VIRGINIA TECH.



1. Planted landscape bed behind the Hardesty-Higgins House Visitor Center adjacent to the parking lot, providing soft buffering between the street and vehicular area.



2. Honey locust trees planted within sidewalk tree wells along Main Street, providing filtered shade and streetscape definition.



3. View of the courthouse and Court Square as experienced from the Main Street sidewalk, highlighting the visual connection between the street corridor and civic open space.



4. The structured planting beds with brick walls and pergola within Liberty Park containing perennial plantings reinforce a formal character.



5. Shaded seating space within Denton Park featuring planter walls, trees, and movable furniture that support passive recreation and gathering.



6. Classical-style decorative planters placed around Court Square contributing to the historic civic character of the space.



7. The underutilized Blacks Run flowing through the city, forming a natural corridor and environmental feature within the urban fabric.



8. Primary entrance view of the Hardesty-Higgins House Visitor Center, marking a key arrival point of a special destination within the downtown district.



9. Hydrangea plantings forming a flowering border along the edge of Liberty Park parking lot.

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Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs

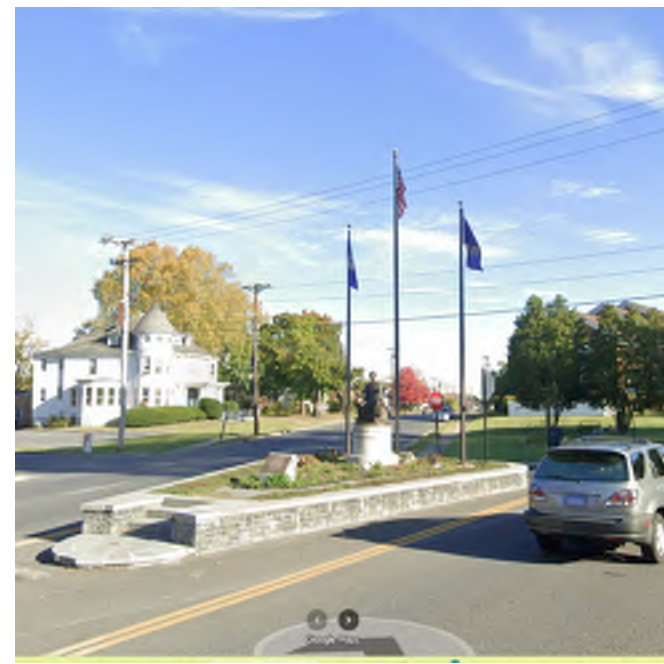
Site Inventory and Analysis
 Existing Conditions Images
 March 26th, 2026

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Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Site Inventory and Analysis
 Focus Areas and Goals
 March 26th, 2026

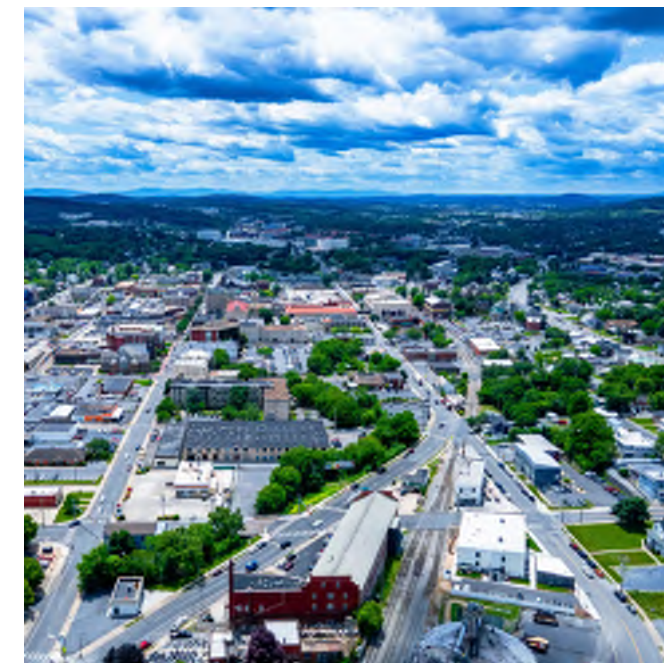
FOCUS AREAS



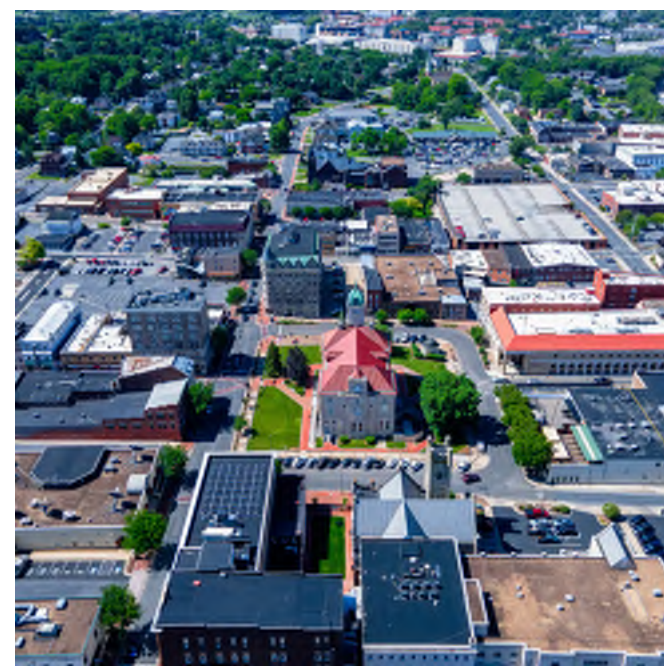
ENTRY GATEWAYS
Downtown Gateway – North & South Statue



DOWNTOWN INTERSECTION
Main Street Intersections



DOWNTOWN STREETS
Mason St. Medians, Water St., Main St., & Liberty St.



COURT HOUSE SQUARE
Court Sq. West & South – Tree wells & Trees



LANDMARK BUILDINGS
*Hardesty-Higgins House Visitor Center
 Public Safety Building
 City Hall*



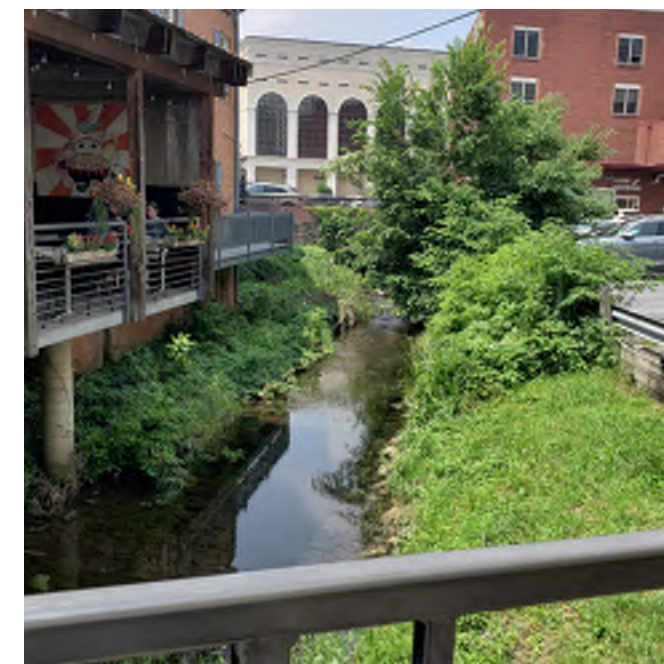
CITY PARKS
*Liberty Park
 Denton park
 Farmers Market*



PARKING FACILITIES
*Liberty St. & Elizabeth St. Lot,
 Municipal Parking Lot, Water St. & Mason St. Parking Deck*



CITY BEDS & PLANTERS
Liberty St. Bed



CITY TRAILS
*Nature Trail
 Art/Mural Trail*

LANDSCAPE GOALS

CREATE A WELCOMING PEDESTRIAN EXPERIENCE

Shaded, well-designed streets make walking comfortable, safe, and enjoyable year-round.

STRENGTHEN NEIGHBORHOOD CONNECTIONS

Green spaces and street trees foster pride and a sense of ownership among residents and local businesses.

ATTRACT VISITORS AND SUPPORT LOCAL ECONOMY

Lively, green streetscapes encourage people to stay longer, explore shops, and attend downtown events.

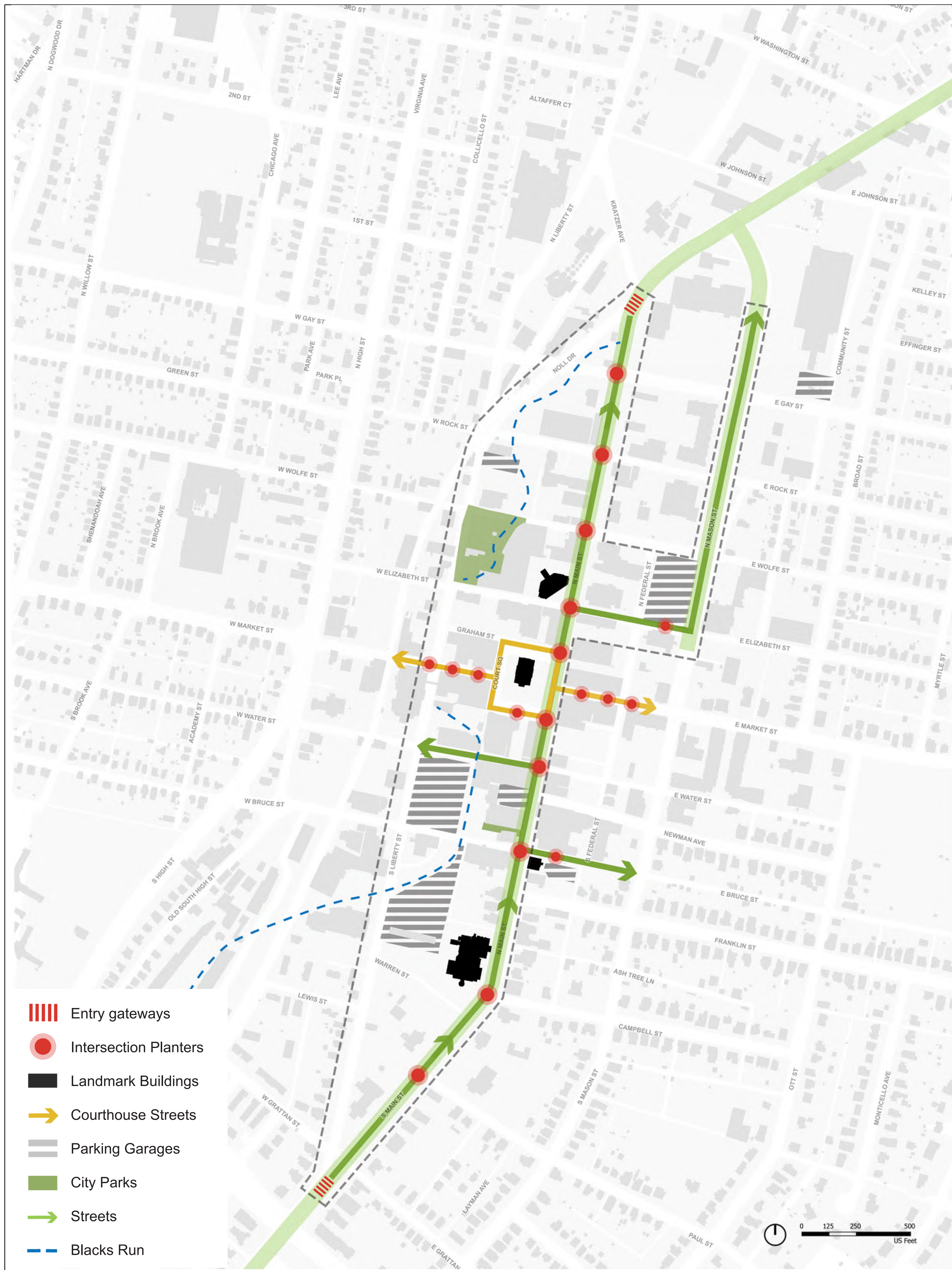
DEFINE DOWNTOWN AS A DESTINATION









Distinctive plantings, art, and design features give Harrisonburg its own identity — a place people come to experience, not just pass through.

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Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

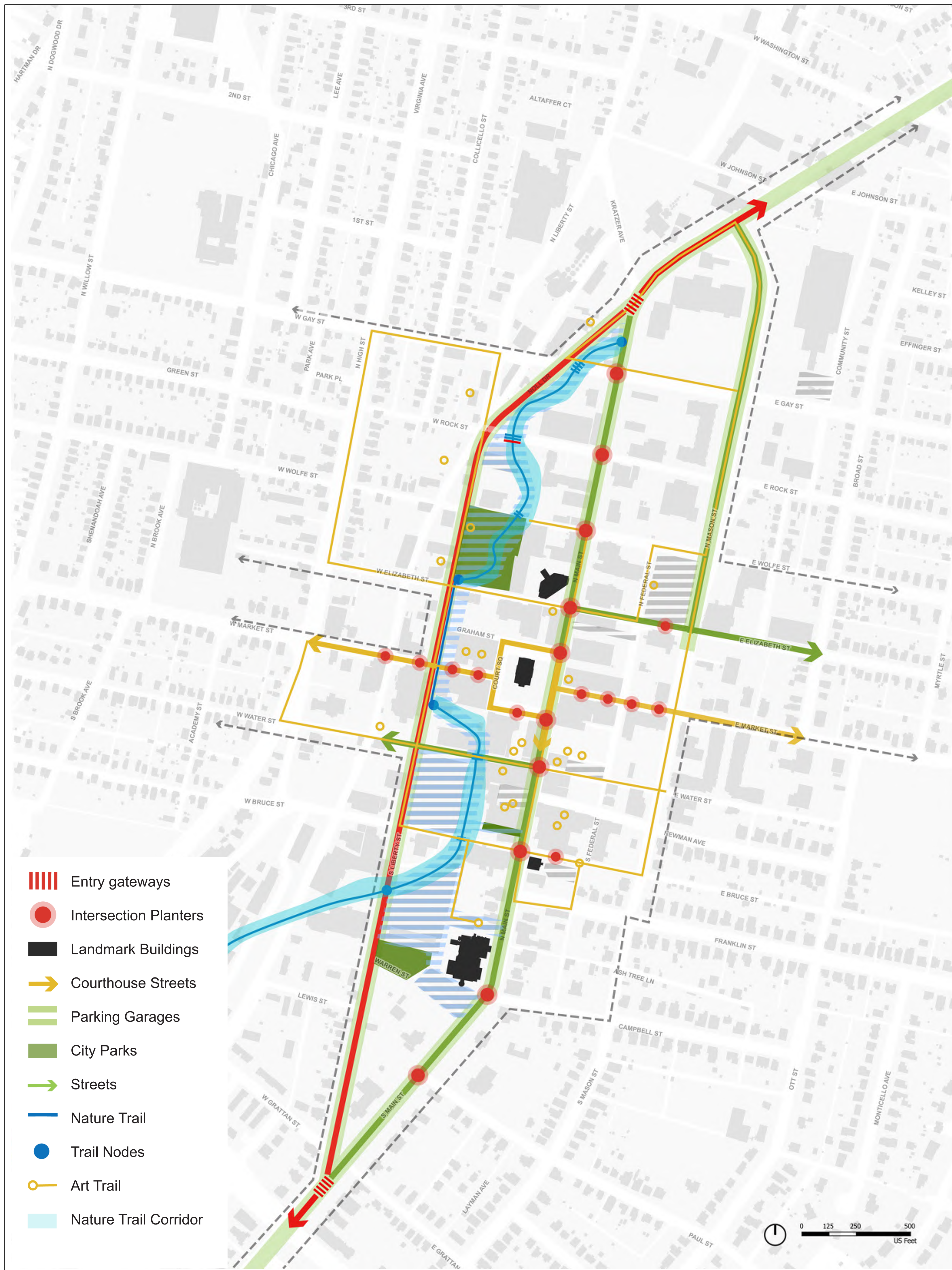
 Final Design: Downtown Master Plan - Phase I
 Scope and Boundary
 March 26th, 2026



-  Entry gateways
-  Intersection Planters
-  Landmark Buildings
-  Courthouse Streets
-  Parking Garages
-  City Parks
-  Streets
-  Blacks Run

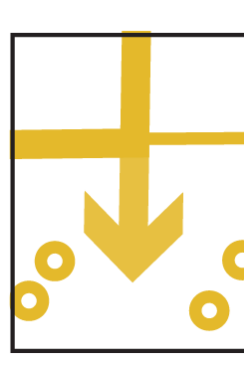
-  **ENTRY GATEWAYS**
-  **GREEN CORRIDORS**
 MAIN STREET
 MASON STREET
 WATER STREET
-  **INTERSECTION PLANTERS**
-  **COURTHOUSE SQUARE**
-  **PARKS & OPEN SPACES**
 LIBERTY PARK
 DENTON PARK
-  **LANDMARK ANCHORS**
 PUBLIC SAFETY BUILDING
 HARDESTY-HIGGINS HOUSE VISITOR CENTER
 CITY HALL
-  **PUBLIC PARKING FACILITIES**
 PARKING GARAGES
 PARKING LOTS

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URBAN STREET CORRIDORS
 MAIN ST & LIBERTY ST - TREE BUMPOUTS
 MAIN ST - ENTERING DOWNTOWN


GREEN CORRIDOR NETWORK
 LIBERTY PARK: THE WOODLAND TRAIL
 DENTON PARK: AN ARBORETUM EXTENSION
 DAYLIGHTING BLACKS RUN
 FARMERS MARKET & LOVE PARK


CITY CANVAS
 COURTHOUSE SQUARE: EVENTS & FESTIVALS
 CAR GARAGES: SCULPTURAL PLACEMAKING
 EXISTING MURAL CORRIDOR: GALLERY GARDENS


PARKING LANDSCAPES
 MUNICIPAL PARKING LOT: REIMAGINING CAR
 PARKS

Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs

Final Design: Downtown Master Plan - Phase II
 Scope and Boundary
 March 26th, 2026

ENTRY GATEWAYS: DOWNTOWN AS A DESTINATION



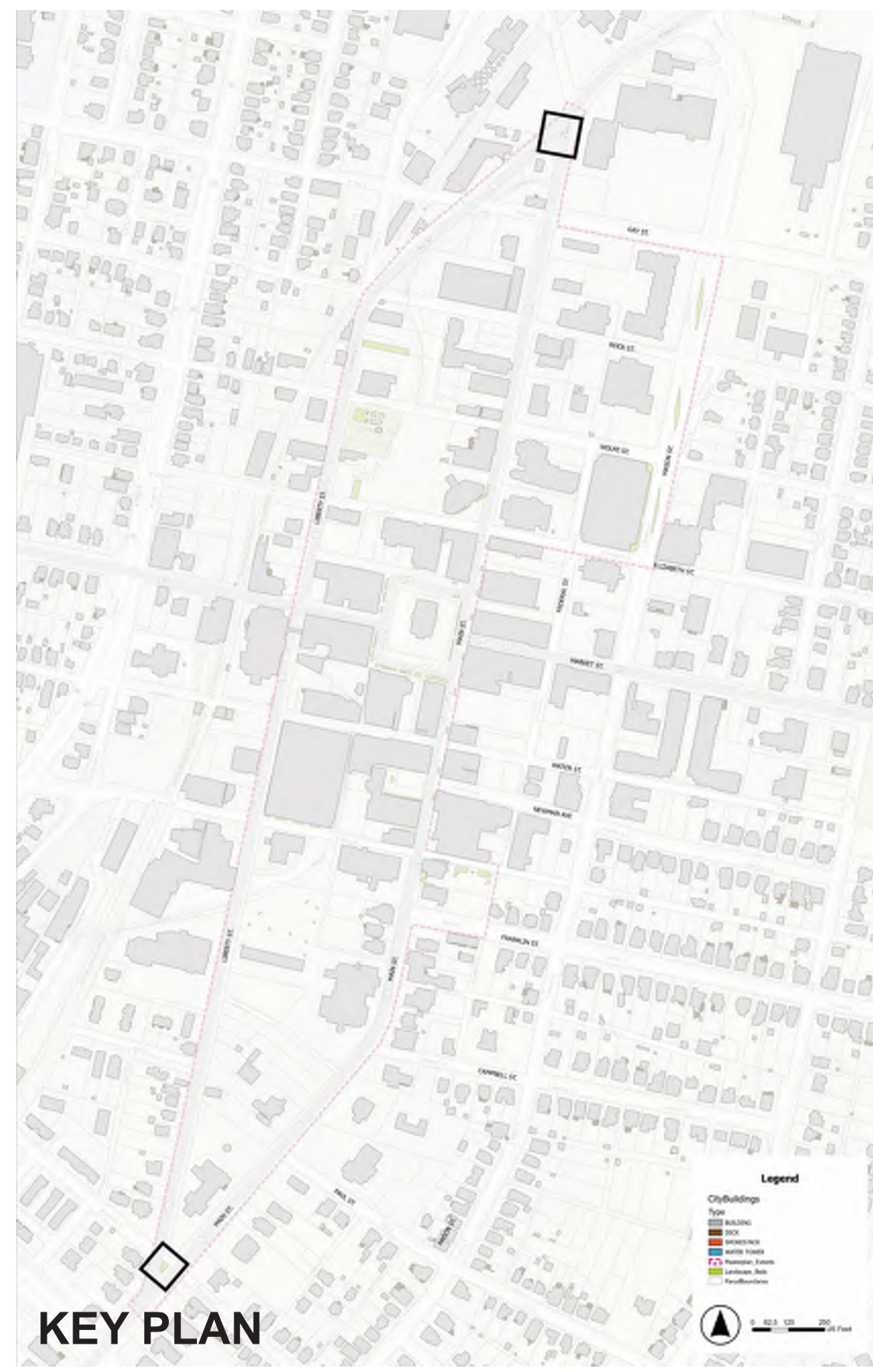
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SOUTH END GATEWAY PLANTING PLAN: Planting strategy that defines the South End Gateway through layered vegetation, seasonal interest, and a clear sense of arrival. All plants are spaced at 0.8" C/C.



PERSPECTIVE: A Summer/Fall planting scheme featuring bold, vibrant colors in layered masses, designed to slow traffic at both entryway islands and create a clear sense of arrival into downtown Harrisonburg.



KEY PLAN



African Marigold
(Tagetes erecta)



Big Red Begonia (*Begonia* × *benariensis* 'Big Red')



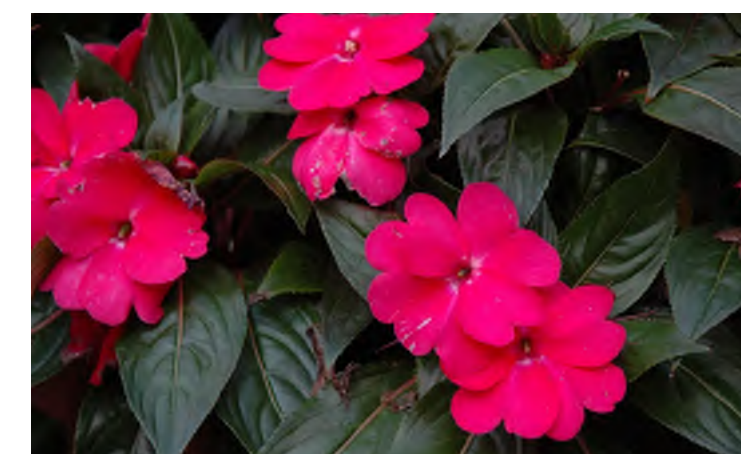
Liriope (*Liriope muscari* 'Big Blue')



Blue sage Salvia (*Salvia farinacea* 'Victoria Blue')



REFERENCE IMAGE:
 Orange - Blue Color Palette



New Guinea Impatiens
(Impatiens 'Celebrette Hot Pink')



Liriope (*Liriope muscari* 'Big Blue')



Begonia 'Megawatt Pink Bronze Leaf' (*Begonia interspecific*)



Blue sage Salvia (*Salvia farinacea* 'Victoria Blue')



REFERENCE IMAGE:
 Pink - Purple Color Palette

SUMMER/FALL PLANTING (OPTION 1):
 Deadhead marigold, salvia, and begonia regularly to keep blooms continuous and tidy. Light pruning or shearing after July 4th helps produce a second flush of flowers. Cut back liriope foliage in early spring before new growth appears.

SUMMER/FALL PLANTING (OPTION 2):
 Deadhead impatiens, begonia, and salvia regularly to keep blooms continuous and tidy. Light pruning or shearing after July 4th helps produce a second flush of flowers. Cut back liriope foliage in early spring before new growth appears.

Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs

Final Design Concept: Entry Gateways - Summer/Fall (Phase I)
 Plan, Perspectives, and Planting Palette
 March 26th, 2026

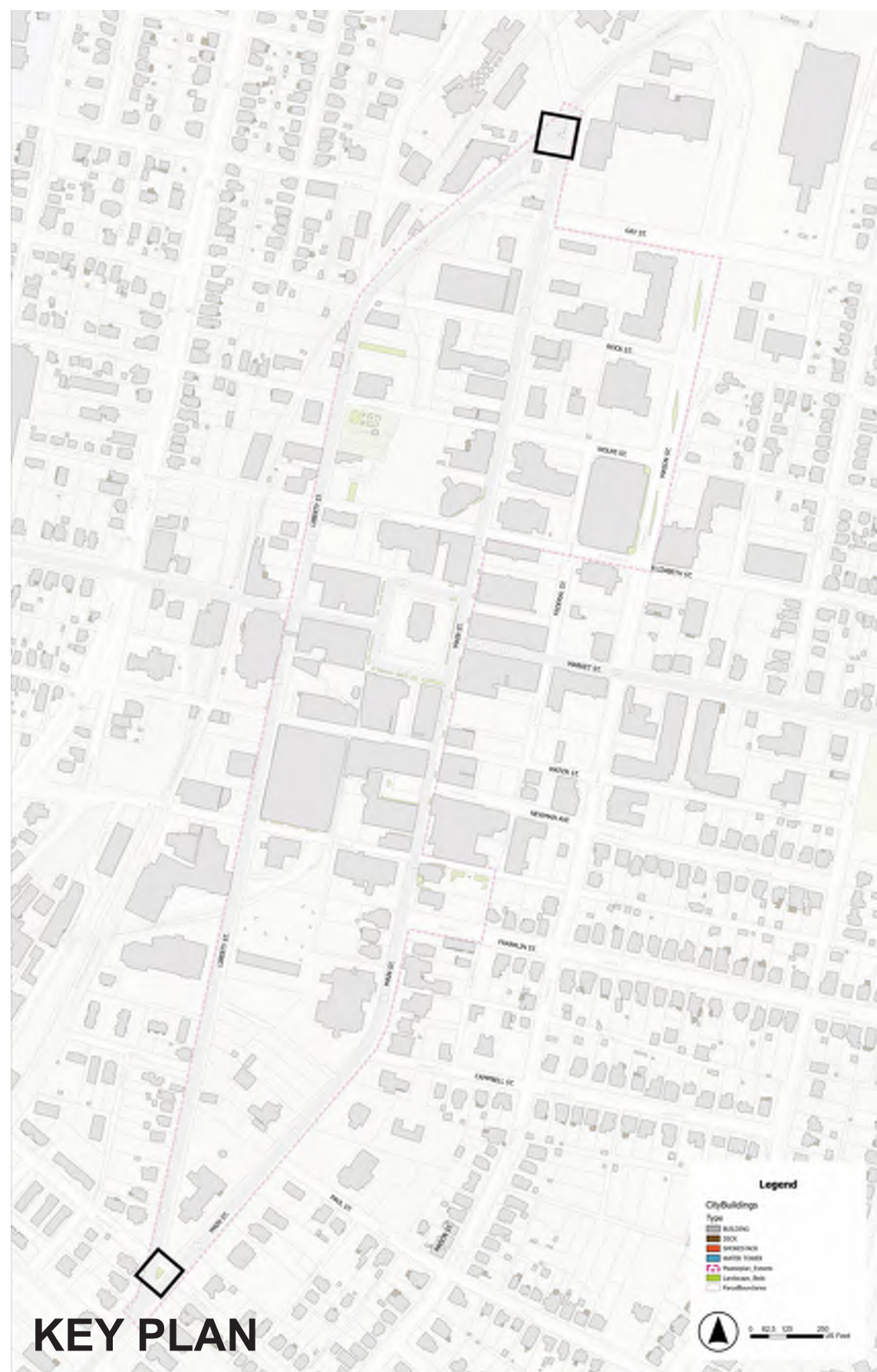
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NORTH END GATEWAY PLANTING PLAN: Planting strategy that defines the South End Gateway through layered vegetation, seasonal interest, and a clear sense of arrival. All plants are spaced at 0.8" C/C.



PERSPECTIVE: A Winter/Spring planting scheme featuring bold, vibrant colors in layered masses, designed to slow traffic at both entryway islands and create a clear sense of arrival into downtown Harrisonburg.



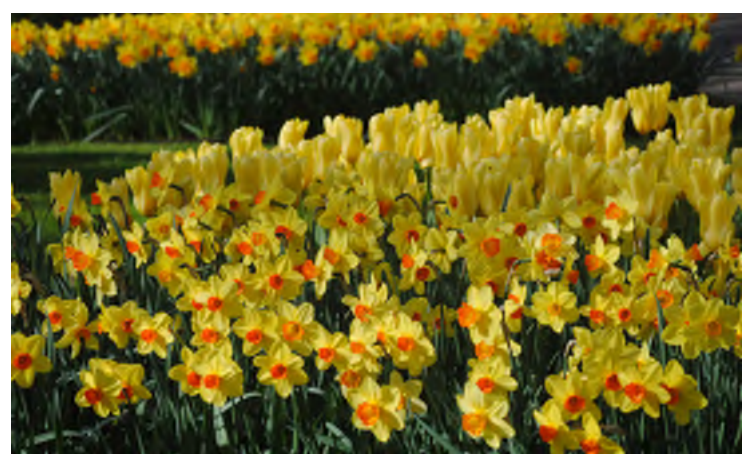
Mount Hood Daffodil
(Narcissus 'Mount Hood')



Golden Harvest Daffodil
(Narcissus 'Golden Harvest')



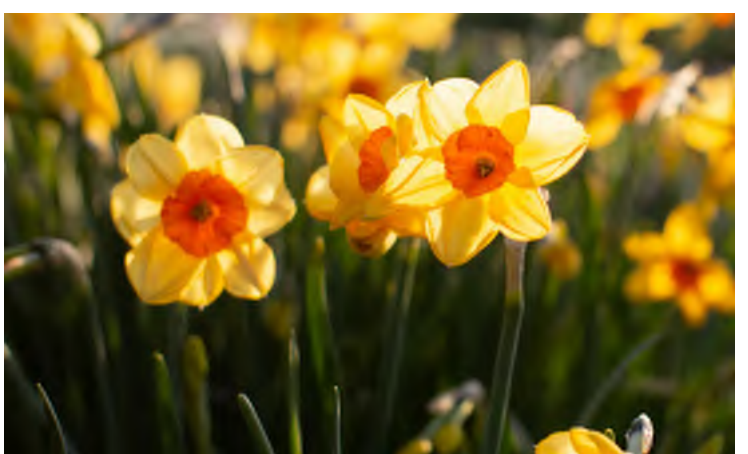
Easter Born Daffodil
(Narcissus 'Easter Born')



Red Devon Daffodil
(Narcissus 'Red Devon')



Riot Daffodil
(Narcissus 'Riot')



Kedron Daffodil
(Narcissus 'Kedron')



Golden Parade Tulip (*Tulipa 'Golden Parade'*)



Purissima Tulip (*Tulipa fosteriana 'Purissima Blonde'*)



Maureen Tulip (*Tulipa Single Late 'Maureen'*)



Van Eijk Tulip Mixture
(Tulipa darwinhybrid 'Van Eijk')



Pink Impression Tulip (*Tulipa 'Pink Impression'*)



Double Peony Pink Tulip
(Tulipa 'Angelique')



Liriope (*Liriope muscari 'Big Blue'*)



Pansy Purple (*Viola wittrockiana 'Matrix Purple'*)

WINTER/SPRING PLANTING (OPTION 1):
 Mix daffodils and tulips. Water daffodils, tulips, and pansies moderately, allowing bulbs and leaves to naturally die back. Deadhead pansies monthly and tulips once petals drop.



Liriope (*Liriope muscari 'Big Blue'*)



Pansy (*Viola wittrockiana 'Matrix True Blue+Delta+White'*)

WINTER/SPRING PLANTING (OPTION 2):
 Mix daffodils and tulips. Water daffodils, tulips, and pansies moderately, allowing bulbs and leaves to naturally die back. Deadhead pansies monthly and tulips once petals drop.

Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Entry Gateways - Winter/Spring (Phase I) Plan, Perspectives, and Planting Palette
 March 26th, 2026



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Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Entry Gateways (Phase II)
 Perspective and Precedent Images
 March 26th, 2026



1. Placing a Primary Gateway Sign consistent with the earlier design by Frazier and Associates at the intersection of Main Street and Liberty Street helps strengthen the sense of arrival to downtown.



2. Gateway signage design should be consistent with the scale, building materials and detailing of the district it is announcing.



3. Gateway signage design should indicate the importance of the area visitors are entering while setting the tone for all public streetscape improvements within the district.

GREEN CORRIDORS: STITCHING DOWNTOWN NEIGHBORHOOD



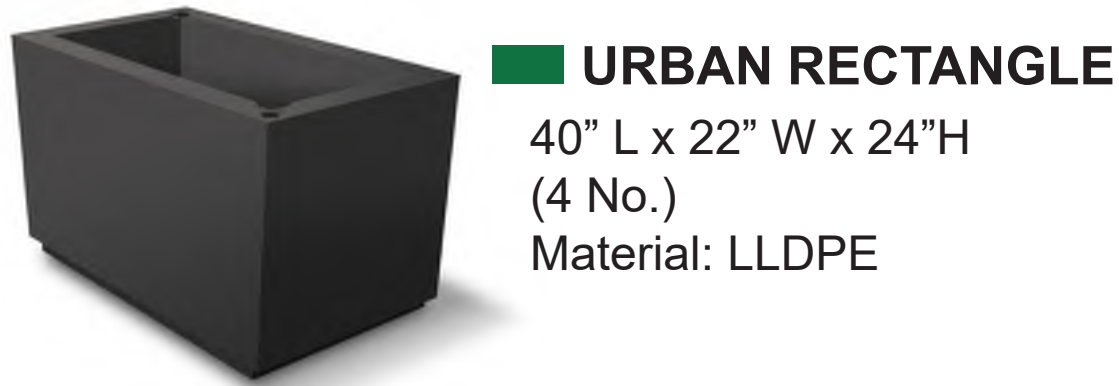
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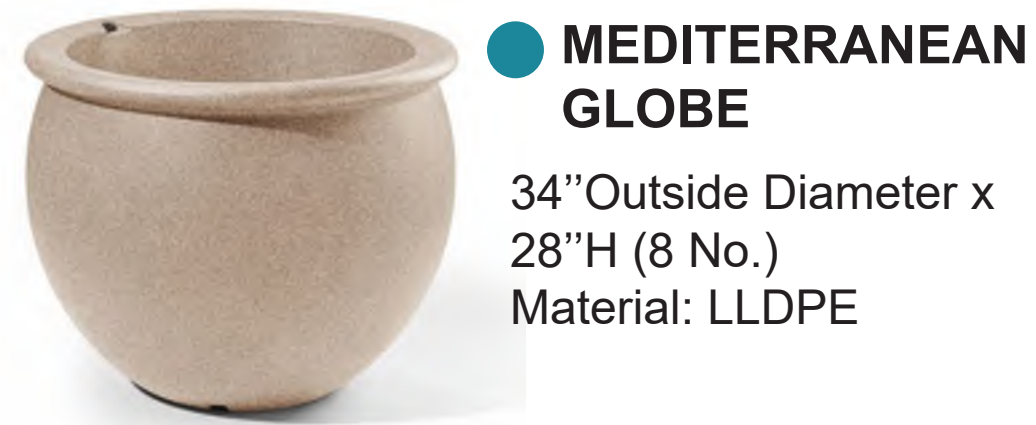
URBAN VASE 31
 31" Top Outside Diameter
 x 25 3/4" H (16 No.)
 Material: LLDPE



URBAN VASE 21
 21" Top Outside Diameter
 x 18" H (32 No.)
 Material: LLDPE



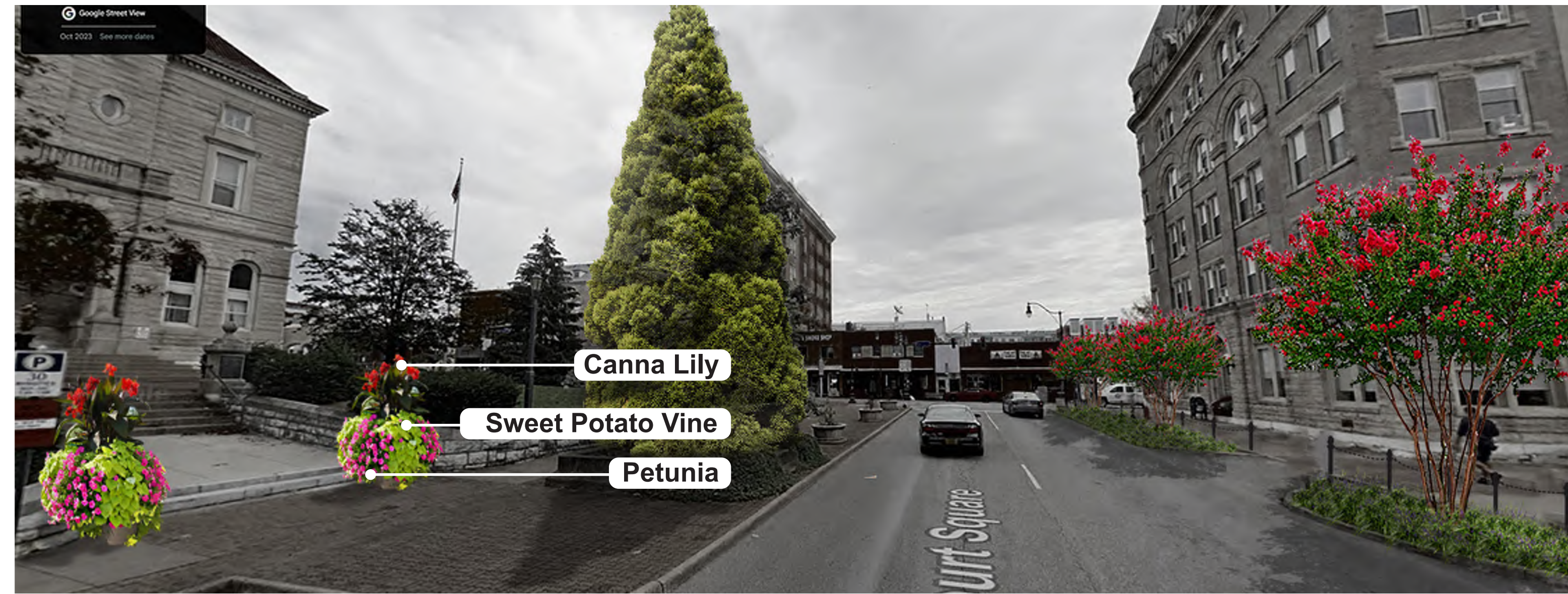
URBAN RECTANGLE
 40" L x 22" W x 24" H
 (4 No.)
 Material: LLDPE



MEDITERRANEAN GLOBE
 34" Outside Diameter x
 28" H (8 No.)
 Material: LLDPE



MASTER PLAN: Placement of various planters at entryways & intersections along Main St., as well as around Court Square.



PERSPECTIVE: Large-sized planters (Urban Vase 31) placed at key intersections along Main Street and at the entryways to Court Square in locations that receive more than six hours of sunlight daily.

PLANTER SPECIFICATIONS



Canna Lily
 (*Canna* 'Pretoria')



Petunia (*Petunia x Calibrachoa* 'Premium Purple Dawn')



REFERENCE IMAGE



Canna Lily
 (*Canna* 'Tropicanna')



Coleus
 (*Solenostemon* 'Redhead')



Canna Lily (*Canna x generalis* 'Tropical Bronze Scarlet')



Lantana (*Lantana Camara* 'Lucky Yellow')



REFERENCE IMAGE



Canna Lily Cannova
 (*Canna x generalis* 'Yellow')



Sweet Potato vine (*Ipomoea batatas* 'Margarita')



Lantana (*Lantana Camara* 'Bandana Red')

FULL SUN + BIG PLANTERS (OPTION 1):
 Use premium potting mix. Establish a pattern of watering. Remove spent blooms to encourage new growth and maintain the plants' appearance. Apply a balanced fertilizer monthly during the growing season. Use a thin layer of mulch before planting to retain moisture.

FULL SUN + BIG PLANTERS (OPTION 2):
 Use premium potting mix. Establish a pattern of watering. Remove spent blooms to encourage new growth and maintain the plants' appearance. Apply a balanced fertilizer monthly during the growing season. Use a thin layer of mulch before planting to retain moisture.

Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs

Final Design Concept: Intersection Planters (Phase I)
 Plan, Perspectives, and Planting Palette
 March 26th, 2026

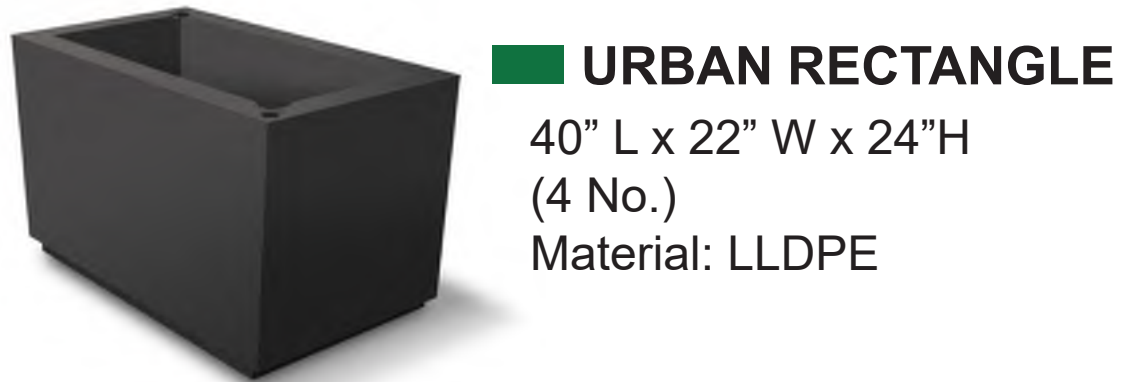
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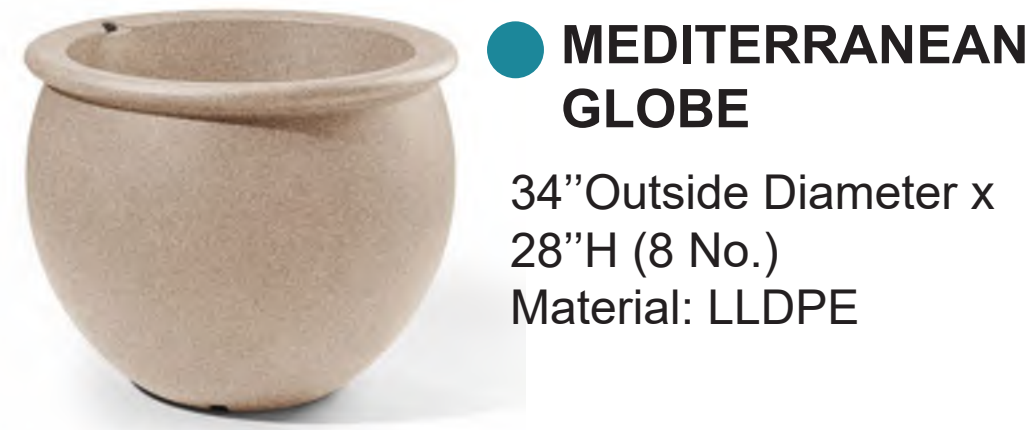
URBAN VASE 31
 31" Top Outside Diameter
 x 25 3/4" H (16 No.)
 Material: LLDPE



URBAN VASE 21
 21" Top Outside Diameter
 x 18" H (32 No.)
 Material: LLDPE



URBAN RECTANGLE
 40" L x 22" W x 24" H
 (4 No.)
 Material: LLDPE



MEDITERRANEAN GLOBE
 34" Outside Diameter x
 28" H (8 No.)
 Material: LLDPE



MASTER PLAN: Placement of various planters at entryways & intersections along Main St., as well as around Court Square.



PERSPECTIVE: Small-sized planters (Urban Vase 21) placed at key intersections along Main Street and along the approach to Court Square via Market Street in locations that are shaded.

PLANTER SPECIFICATIONS



Elephant ears
(Alocasia macrorrhizos)



Caladium (*Caladium bicolor* 'Red Flash')



Creeping Jenny (*Lysimachia nummularia*)



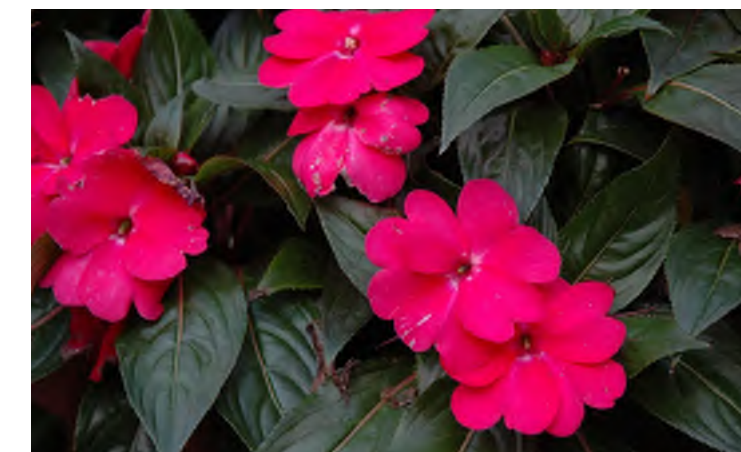
Begonia 'Megawatt Pink Bronze Leaf' (*Begonia interspecific*)



REFERENCE IMAGE



Cordyline (*Cordyline* 'Red Sensation')



New Guinea Impatiens (*Impatiens* 'Celebrette Hot Pink')



Coleus (*Solenostemon scutellarioides* 'Kong Rose')



Creeping Jenny (*Lysimachia nummularia*)



REFERENCE IMAGE

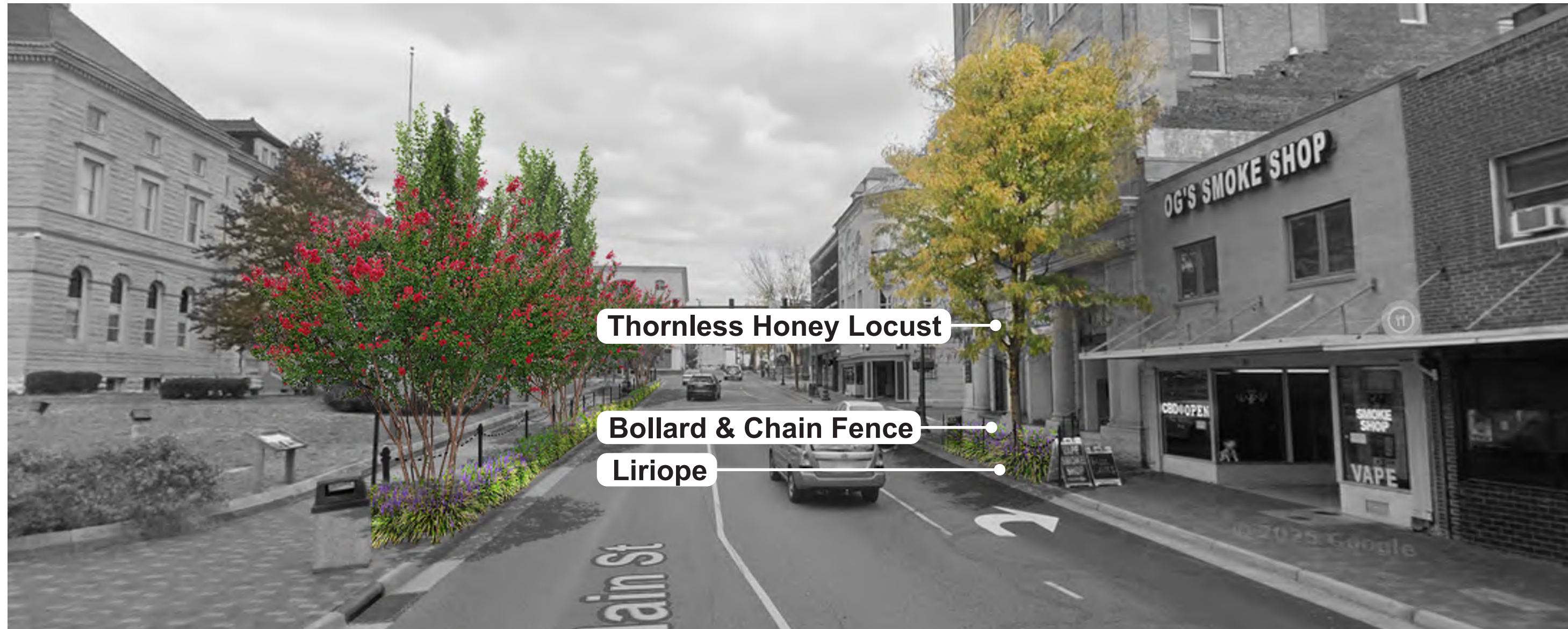
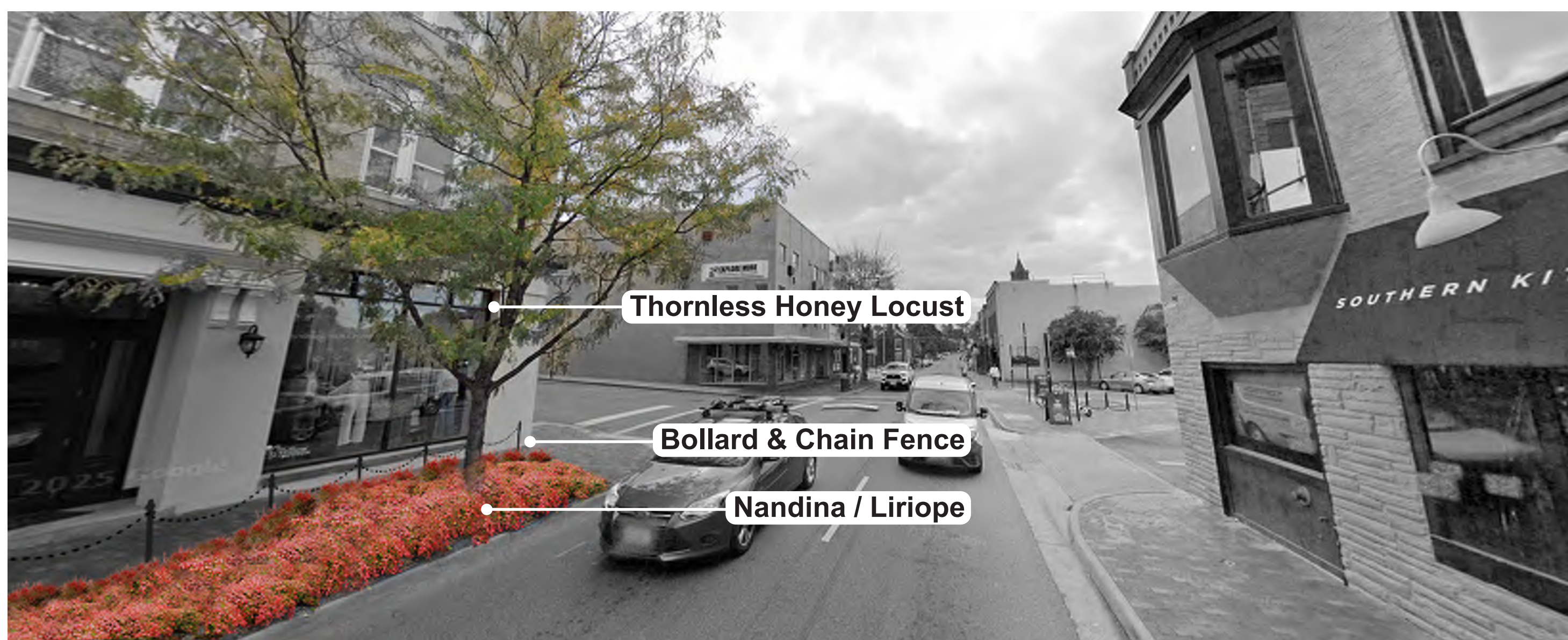
SHADE + SMALL PLANTERS (OPTION 1):
 Use premium potting mix. Establish a pattern of watering. Remove spent blooms to encourage new growth and maintain the plants' appearance. Apply a balanced fertilizer monthly during the growing season. Use a thin layer of mulch before planting to retain moisture.

SHADE + SMALL PLANTERS (OPTION 2):
 Use premium potting mix. Establish a pattern of watering. Remove spent blooms to encourage new growth and maintain the plants' appearance. Apply a balanced fertilizer monthly during the growing season. Use a thin layer of mulch before planting to retain moisture.

Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

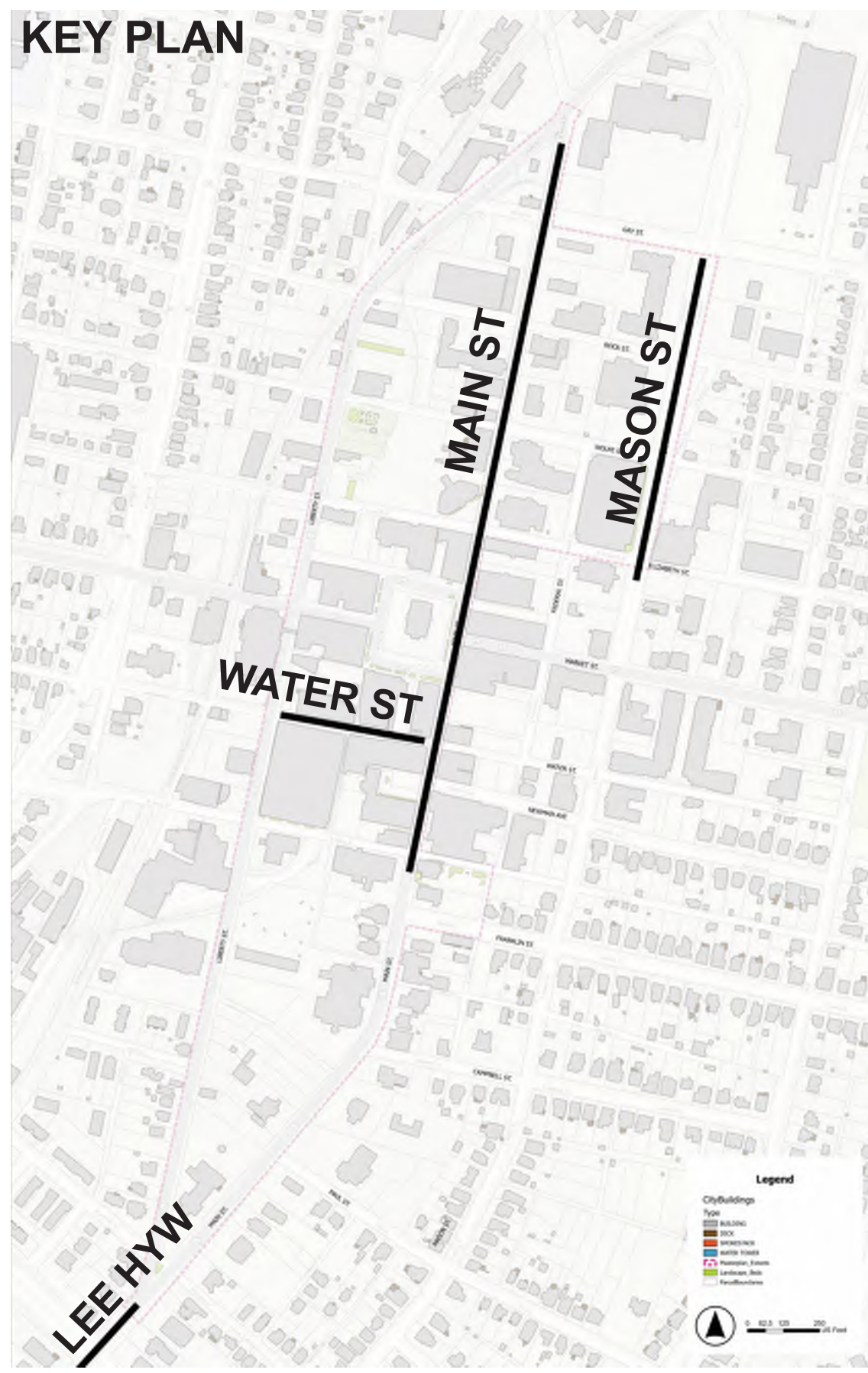
Final Design Concept: Intersection Planters (Phase I) Plan, Perspectives, and Planting Palette
 March 26th, 2026

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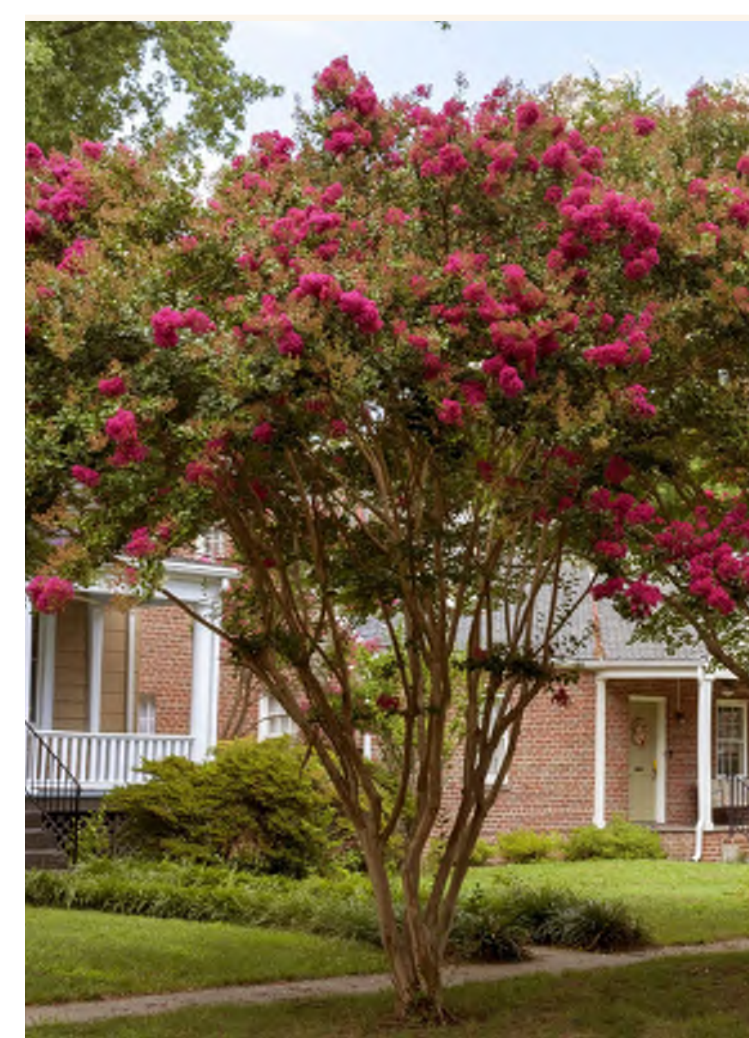


PERSPECTIVE: Effective streetscape design is crucial for creating vibrant, functional, and safe urban spaces that enhance the overall experience in the downtown area helping to attract visitors and complimentary retail development.

PERSPECTIVE: Sidewalks and medians planted with understory vegetation to clearly delineate zones, complemented by strategically placed trees that provide shade and establish a strong sense of direction within each area.



Thornless Honey Locust
(Gleditsia triacanthos' var. inermis)



Crepe Myrtle (*Lagerstroemia indica 'Pink Velor'*)



Ginkgo columnar (*Ginkgo biloba 'Princeton sentry'*)



Liriope
(Liriope spicata)



Firepower Nandina (*Nandina domestica 'Fire Power'*)



Repandens English Yew
(Taxus baccata 'Repandens')



Mount Hood Daffodil
(Narcissus 'Mount Hood')



Wood Hyacinth
(Hyacinthoides hispanica)



Surprise Lily (*Lycoris squamigera*)



Yellow Autumn Crocus
(Sternbergia lutea)

MAINTENANCE OF TREES:

To maintain the health and appearance of crepe myrtle, prune in late winter before spring growth starts. Train as trees by removing lower branches to establish a clear framework and open canopy. To stimulate a second summer bloom, prune old flower heads off as soon as petals start dropping. Begin training all young street trees the year after planting and continue through the next five years. Maintain required passage for vehicles.

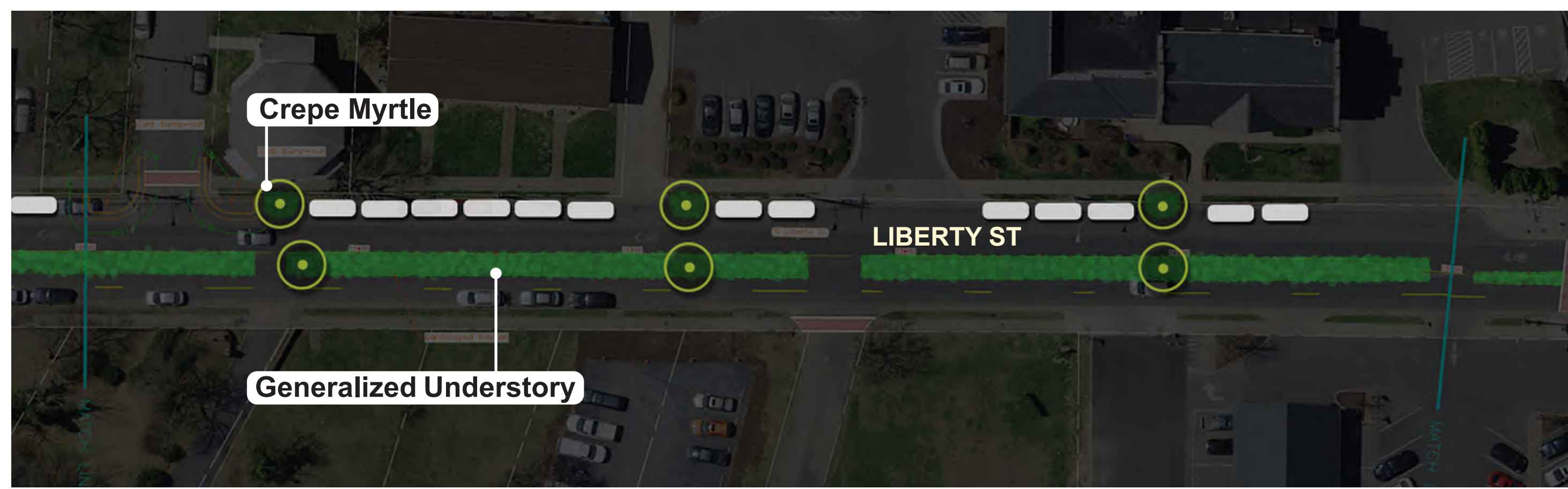
ANNUAL MAINTENANCE OF NANDINA AND LIRIOPE AND BULBS:

To maintain health and appearance of dwarf nandina in late winter before spring growth starts, the key to success is to cut back one third of the oldest and weak stems to the ground each year. This technique encourages full appearance and constant supply of fresh growth. For liriope, cut the foliage back in late winter or early spring before new growth appears to encourage a supply of fresh growth.

Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Street Corridors (Phase I) Plan, Perspectives, and Planting Palette
 March 26th, 2026

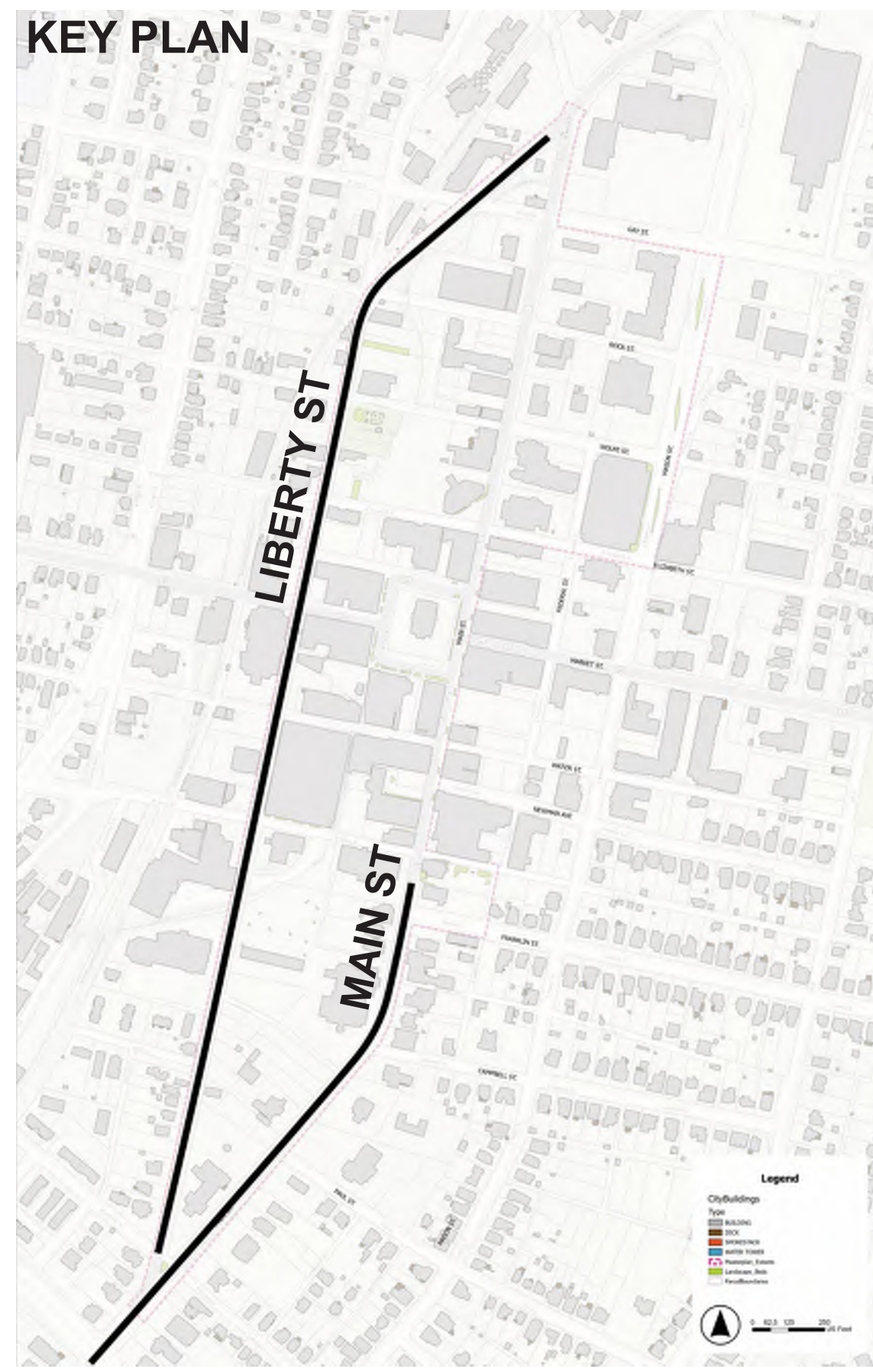
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LIBERTY ST & MAIN ST PLANTING PLAN: Strategically placed curb bump-outs to maximize parallel parking, featuring either monumental shade trees or accent flowering trees, depending on the character and opportunities of each street.



PERSPECTIVE: Enhanced street corridors with monumental shade trees in curb bump-outs create shaded canopies that improve the pedestrian experience, while reinforcing the distinct character of entry into Downtown Harrisonburg.



Red Maple (*Acer Rubrum*)



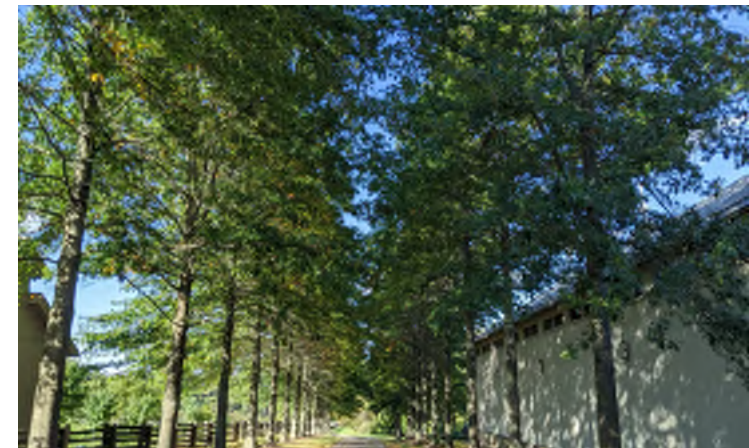
Crepe Myrtle (*Lagerstroemia indica* 'Pink Velor')



Jefferson Elm (*Ulmus americana* 'Jefferson')



Bur Oak (*Quercus macrocarpa*)



Pin Oak (*Quercus palustris*)



Columnar Maple (*Acer rubrum* 'Armstrong Gold')



Regal Prince® Oak (*Quercus warei* 'Long')



REFERENCE IMAGE

NOTES:
 To maintain the health and appearance of crepe myrtle, prune in late winter before spring growth starts. Train as trees by removing lower branches to establish a clear framework and open canopy. Begin training all young street trees the year after planting and continue through the next five years. Maintain required passage for vehicles.

Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Street Corridors (Phase II) Plan, Perspectives, and Planting Palette
 March 26th, 2026

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Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Downtown Arrival (Phase II)
 Perspective and Precedent Images
 March 26th, 2026



1. Trees play a crucial role in creating inviting and comfortable downtown gateways. They not only enhance the aesthetic appeal of the area but also contribute to a sense of community and well-being.



2. Contiguous lines of street trees can provide a uniform appearance to the approach to downtown helping to reduce any negative visual impacts of newer development and surface parking lots.

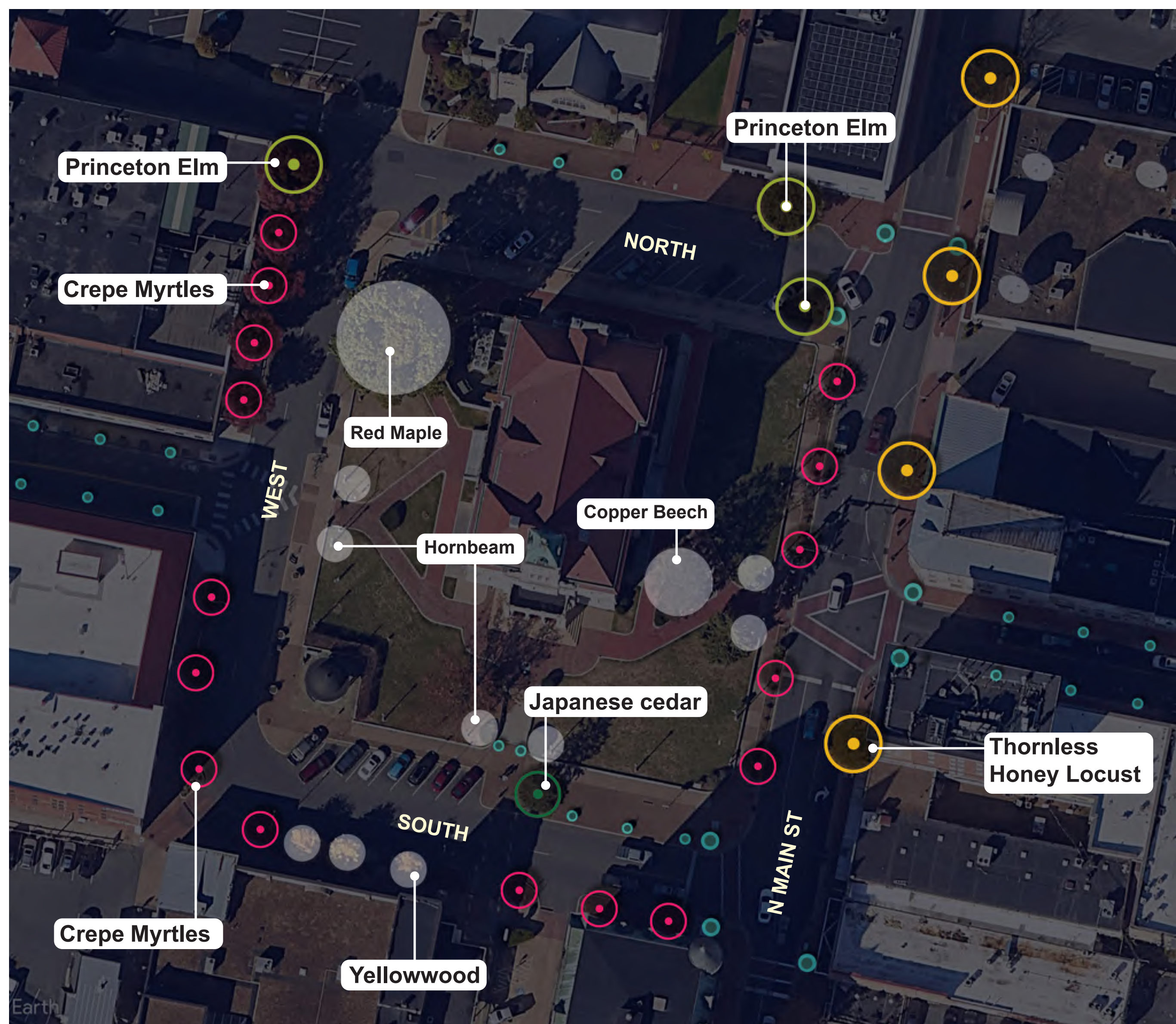


3. The use of larger, "monumental" street trees help reduce pollution, heat, and runoff while reducing visual clutter and provide traffic calming by making the road appear narrower.

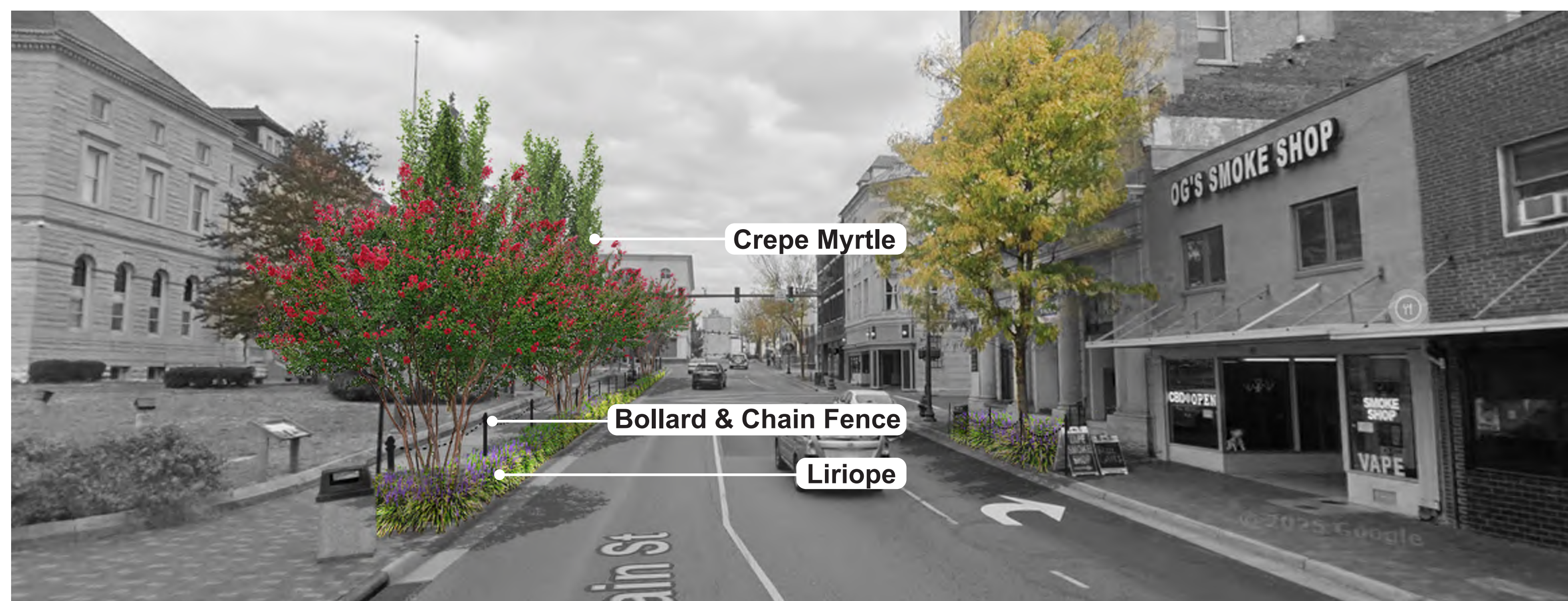
COURT HOUSE SQUARE: CIVIC HEART/JEWEL OF THE CROWN



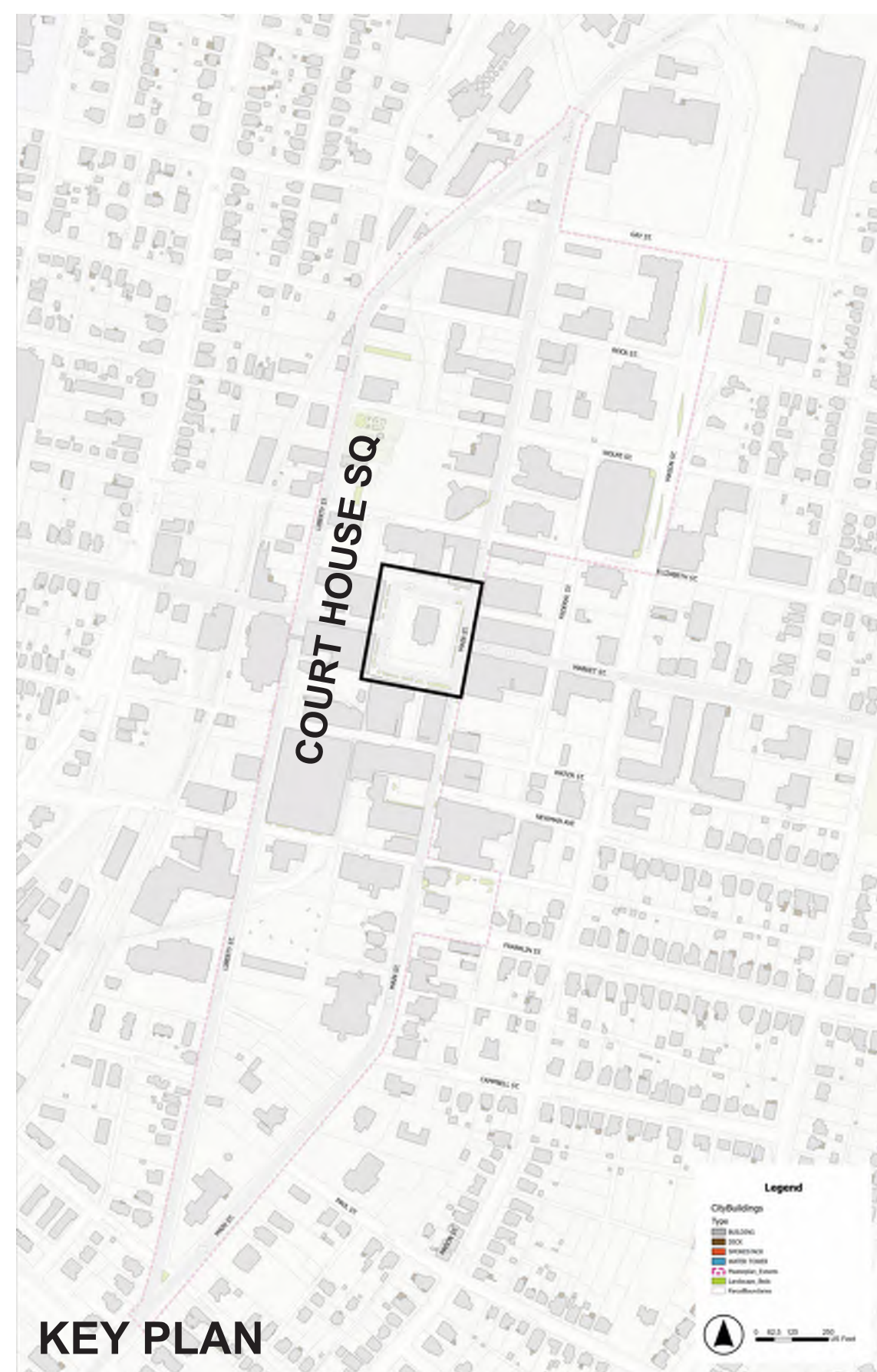
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COURTHOUSE PLANTING PLAN: New trees strategically placed among existing Courthouse trees to provide shade and seasonal interest, enhance pedestrian comfort, and to frame the historic square.



PERSPECTIVE: East (top) and north (bottom) streetscapes of the Courthouse, showing paired trees and groundcover that define street character, mark arrival to Courthouse Square, and provide shade for a pedestrian-friendly walkway.



Princeton Elm
(Ulmus americana 'Princeton')



Crepe Myrtle (*Lagerstroemia indica 'Pink Velor'*)



Variegated Liriope
(Liriope spicata)



Repandens English Yew
(Taxus baccata 'Repandens')



Mount Hood Daffodil
(Narcissus 'Mount Hood')



Wood Hyacinth
(Hyacinthoides hispanica)



Surprise Lily (*Lycoris squamigera*)



Yellow Autumn Crocus
(Sternbergia lutea)



REFERENCE IMAGE:
 Intersection Planter (Urban Vase 31)

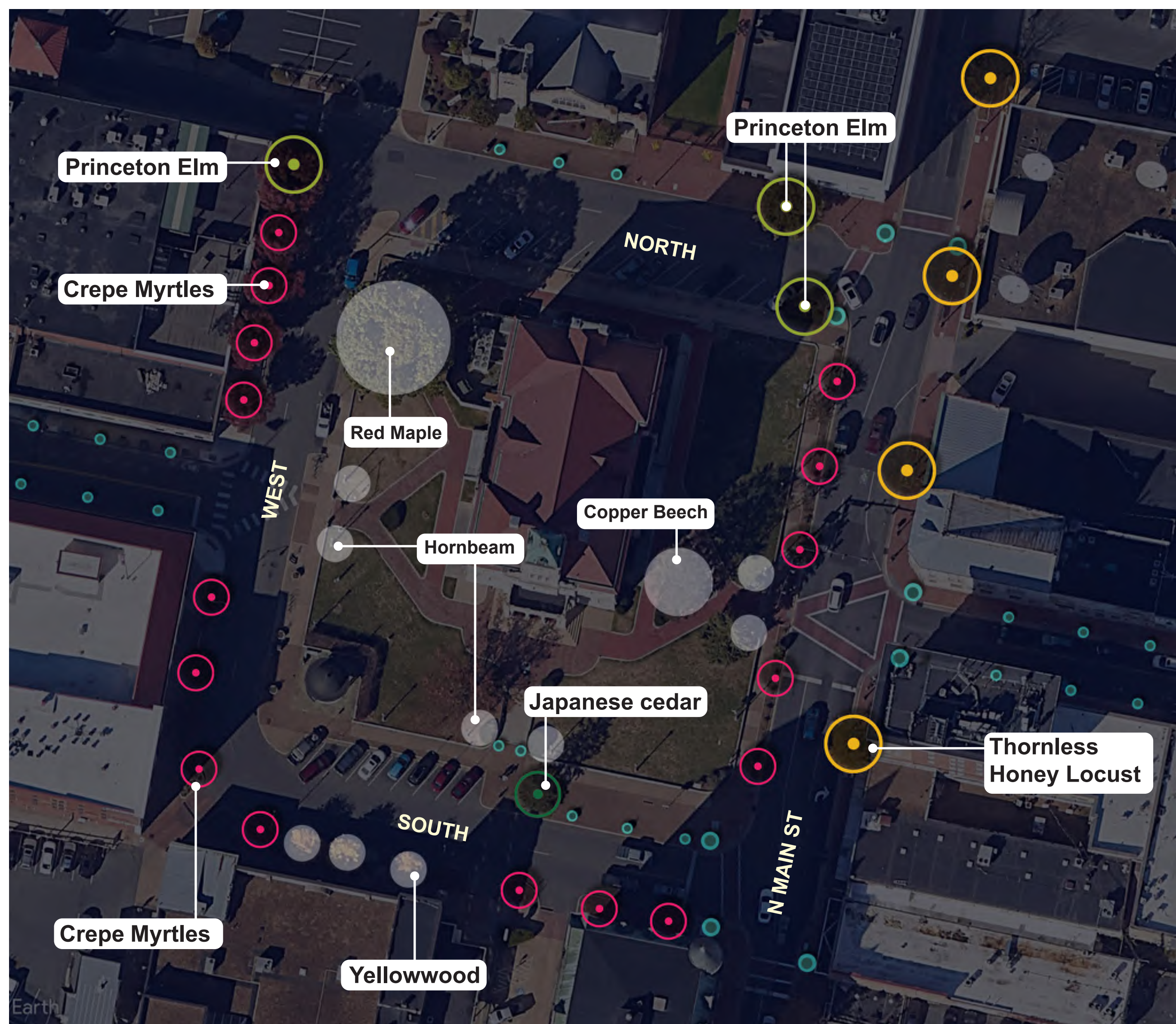
NOTES:

To maintain the health and appearance of crepe myrtle, prune in late winter before spring growth starts. Train as trees by removing lower branches to establish a clear framework and open canopy. To stimulate a second summer bloom, prune old flower heads off as soon as petals start dropping. Begin training all young street trees the year after planting and continue through the next five years. Maintain required passage for vehicles. To maintain the health and appearance of Liriope, cut the foliage back in late winter or early spring before new growth appears to encourage a supply of fresh growth.

Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs

Final Design Concept: Court House Square (Phase I)
 Plan, Perspectives, and Planting Palette
 March 26th, 2026

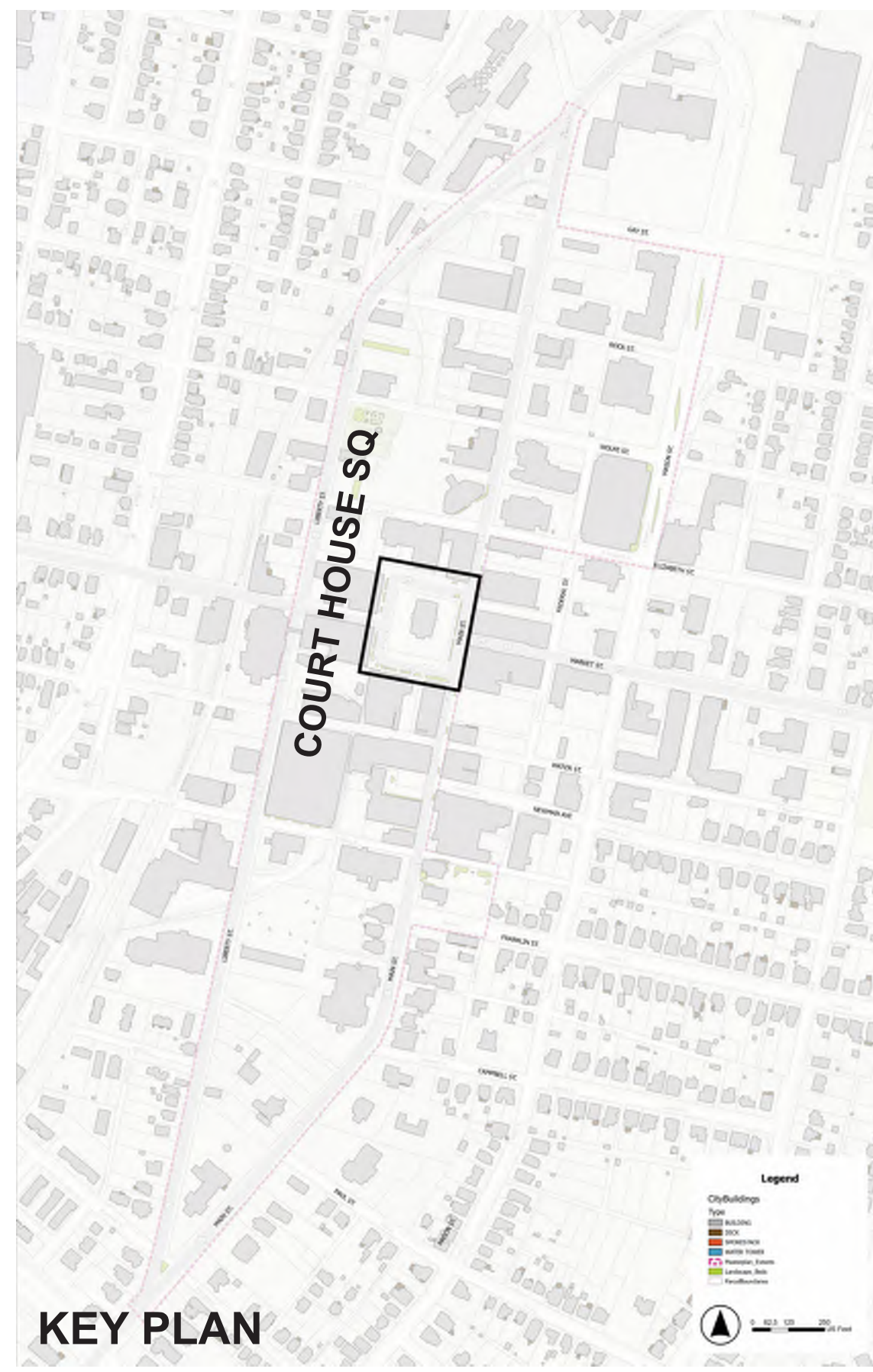
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COURTHOUSE PLANTING PLAN: New trees strategically placed among existing Courthouse trees to provide shade and seasonal interest, enhance pedestrian comfort, and to frame the historic square.



PERSPECTIVE: West (top) and south-west (bottom) streetscapes of the Courthouse, showing paired trees and groundcover that define street character, frame the historic Courthouse Square, and provide shade for a pedestrian-friendly walkway.



KEY PLAN



Crepe Myrtle (*Lagerstroemia indica* 'Pink Velor')



Princeton Elm (*Ulmus americana* 'Princeton')



Variegated Liriope (*Liriope spicata*)



Repandens English Yew (*Taxus baccata* 'Repandens')



Mount Hood Daffodil (*Narcissus* 'Mount Hood')



Wood Hyacinth (*Hyacinthoides hispanica*)



Surprise Lily (*Lycoris squamigera*)



Yellow Autumn Crocus (*Sternbergia lutea*)

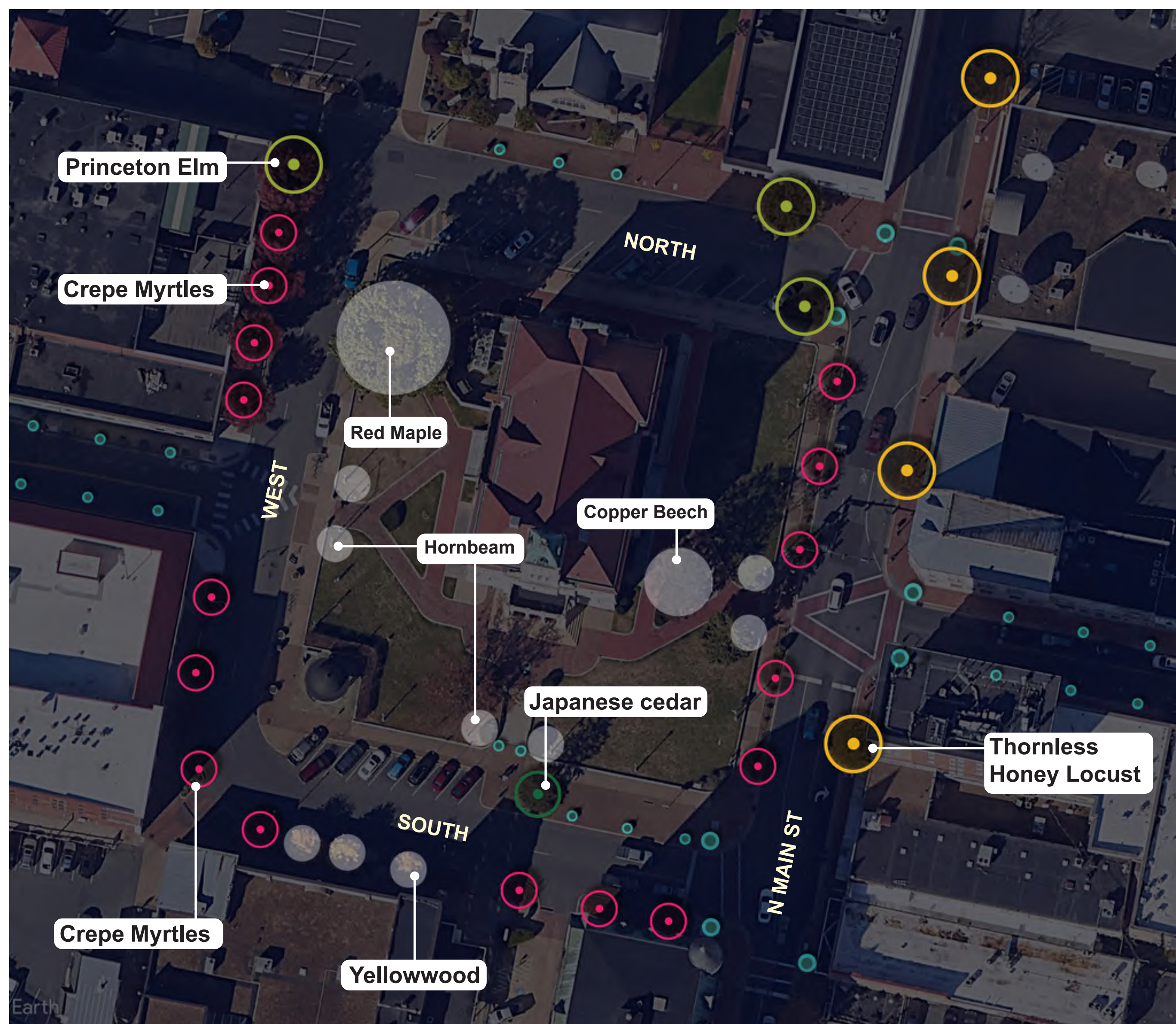


REFERENCE IMAGE: Bollard and Chain

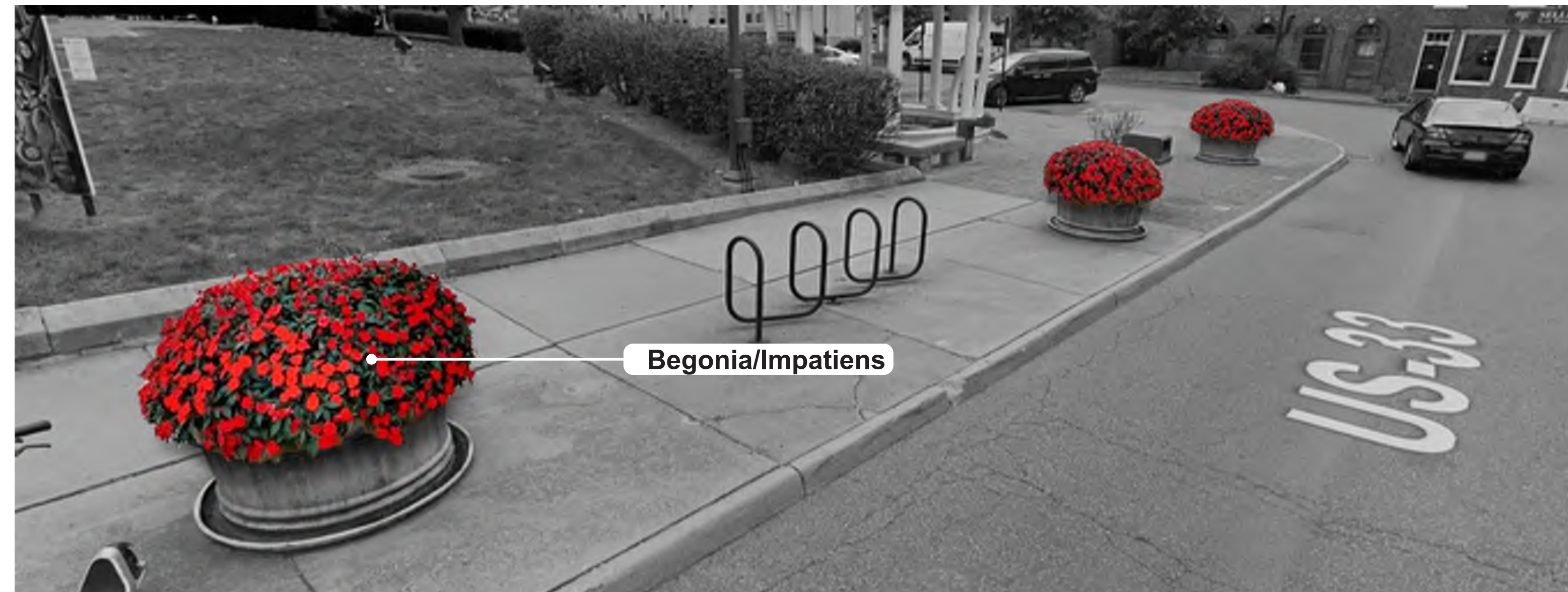
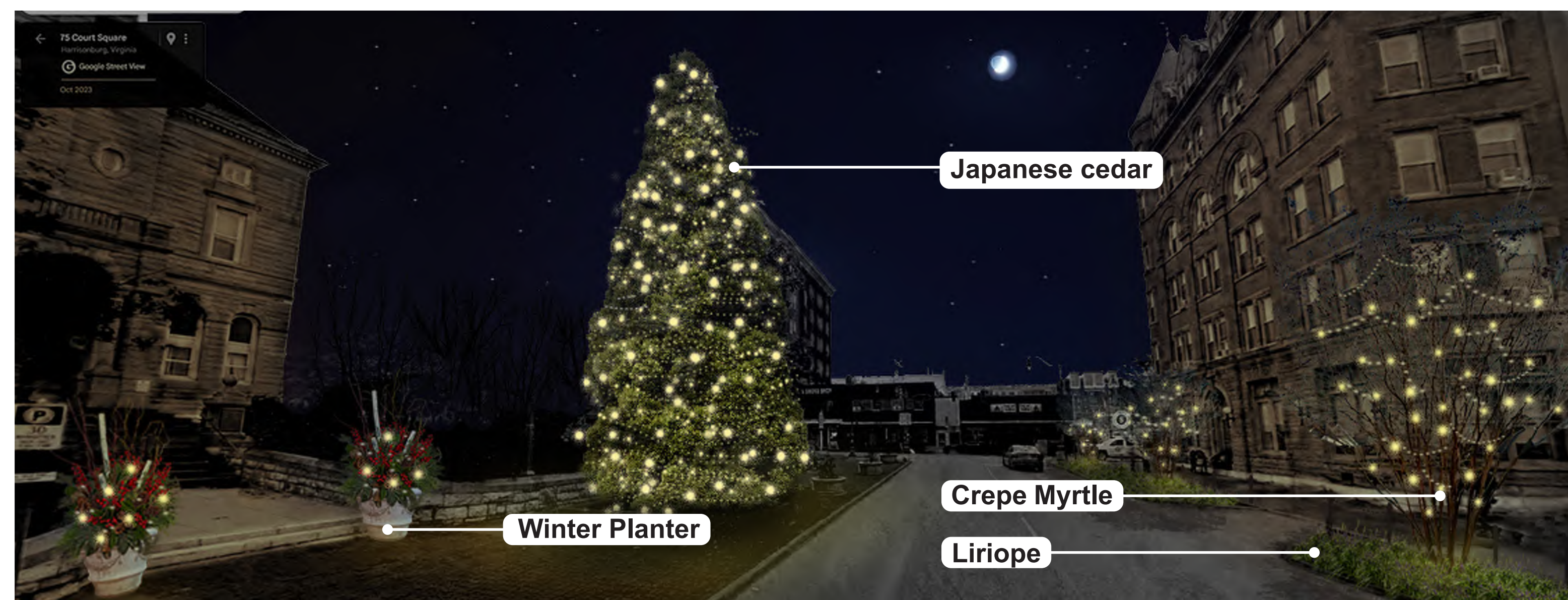
Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Court House Square (Phase I) Plan, Perspectives, and Planting Palette
 March 26th, 2026

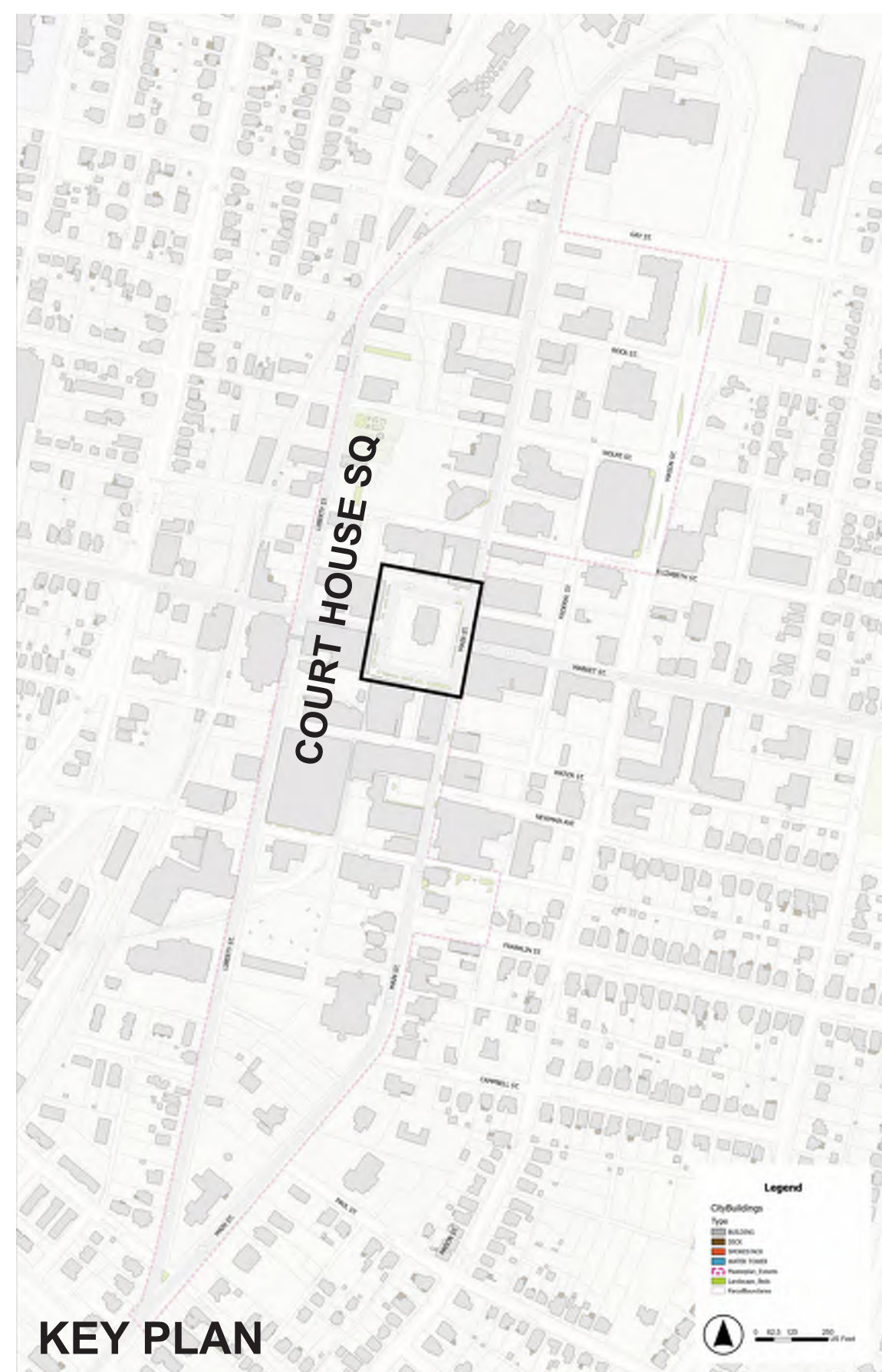
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COURTHOUSE PLANTING PLAN: New trees strategically placed among existing Courthouse trees to provide shade and seasonal interest, enhance pedestrian comfort, and to frame the historic square.



PERSPECTIVE: Night view of the south Courthouse entrance (top) and planting existing classical planters (bottom), strategically placed to accentuate the square and highlight it as the main focal point.



Japanese-cedar (*Cryptomeria japonica* 'Yoshino')



Crepe Myrtle (*Lagerstroemia indica* 'Pink Velor')



Variegated Liriope (*Liriope spicata*)



Repandens English Yew (*Taxus baccata* 'Repandens')



Big Red Begonia (*Begonia* × *benariensis* 'Big Red')



New Guinea Impatiens (*Impatiens* 'Celebrette Hot Pink')



REFERENCE IMAGE: Winter Planter (Urban Vase 31)



REFERENCE IMAGE: Court House Planter

NOTES:

To maintain the health and appearance of crepe myrtle, prune in late winter before spring growth starts. Train as trees by removing lower branches to establish a clear framework and open canopy. To stimulate a second summer bloom, prune old flower heads off as soon as petals start dropping. Begin training all young street trees the year after planting and continue through the next five years. Maintain required passage for vehicles. To maintain the health and appearance of Liriope, cut the foliage back in late winter or early spring before new growth appears to encourage a supply of fresh growth.

NOTES:

Water the soil, not the plants, and establish a pattern of watering. Remove spent blooms to encourage new flowers. Do not fertilize in fall and winter. Use a thin layer of mulch before planting to retain moisture and protect plants.
 Routine Care for Large Planters of Annuals: Use premium potting mix. Establish a pattern of watering. Remove spent blooms to encourage new growth and maintain the plants' appearance. Apply a balanced fertilizer monthly during the growing season. Use a thin layer of mulch before planting to retain moisture and suppress weeds. Trim back leggy plants in midsummer to encourage new growth.

Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs

Final Design Concept: Court House Square (Phase I)
 Plan, Perspectives, and Planting Palette
 March 26th, 2026



1. Converting the street into a public plaza creates flexible open space for gatherings, seating, and everyday use within a shaded urban setting.



2. The plaza supports community events and performances, accommodating large crowds while fostering social interaction and active public life.



3. Temporary stalls and market setups activate the space for festivals and local vendors, reinforcing the plaza as a dynamic civic destination.

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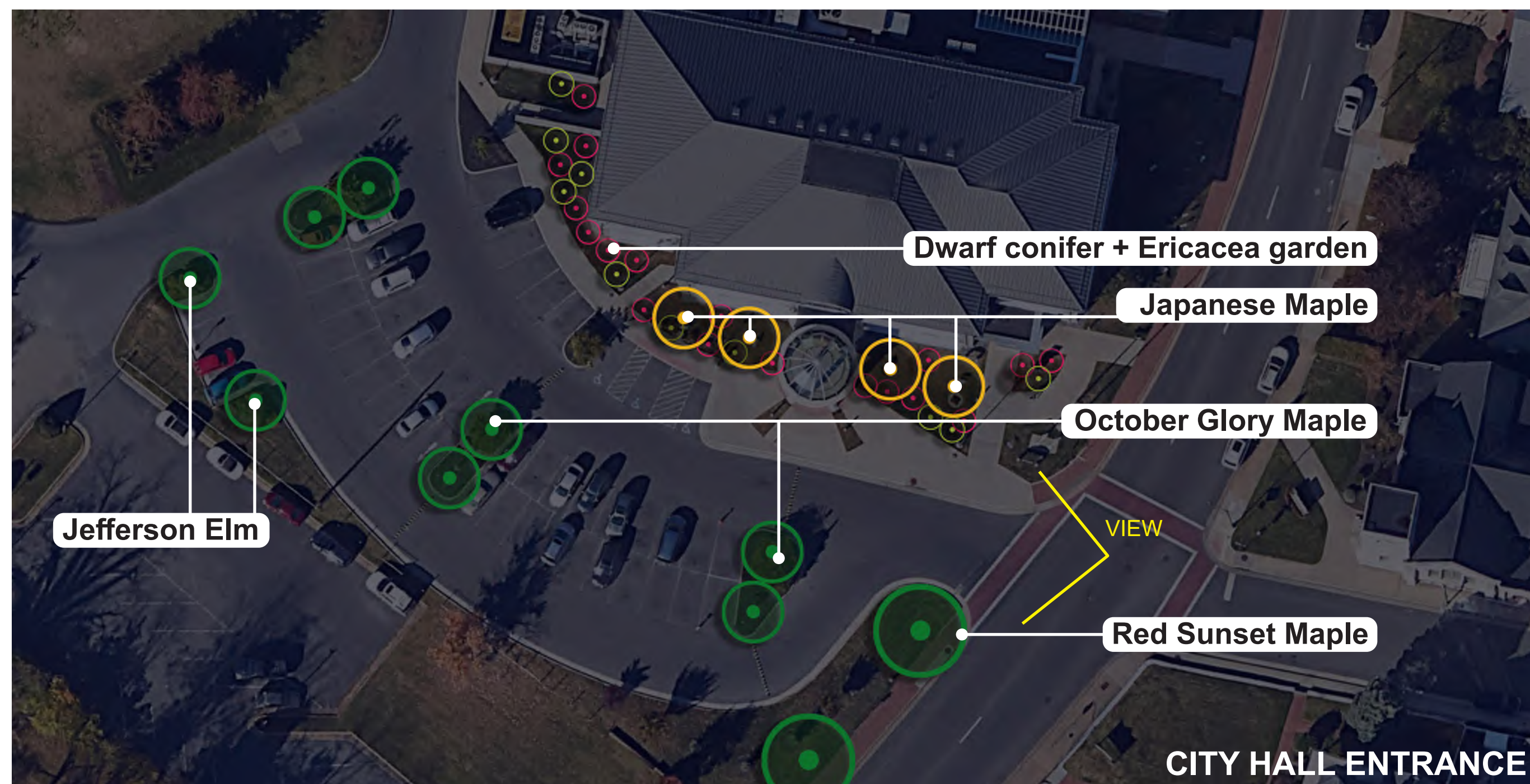
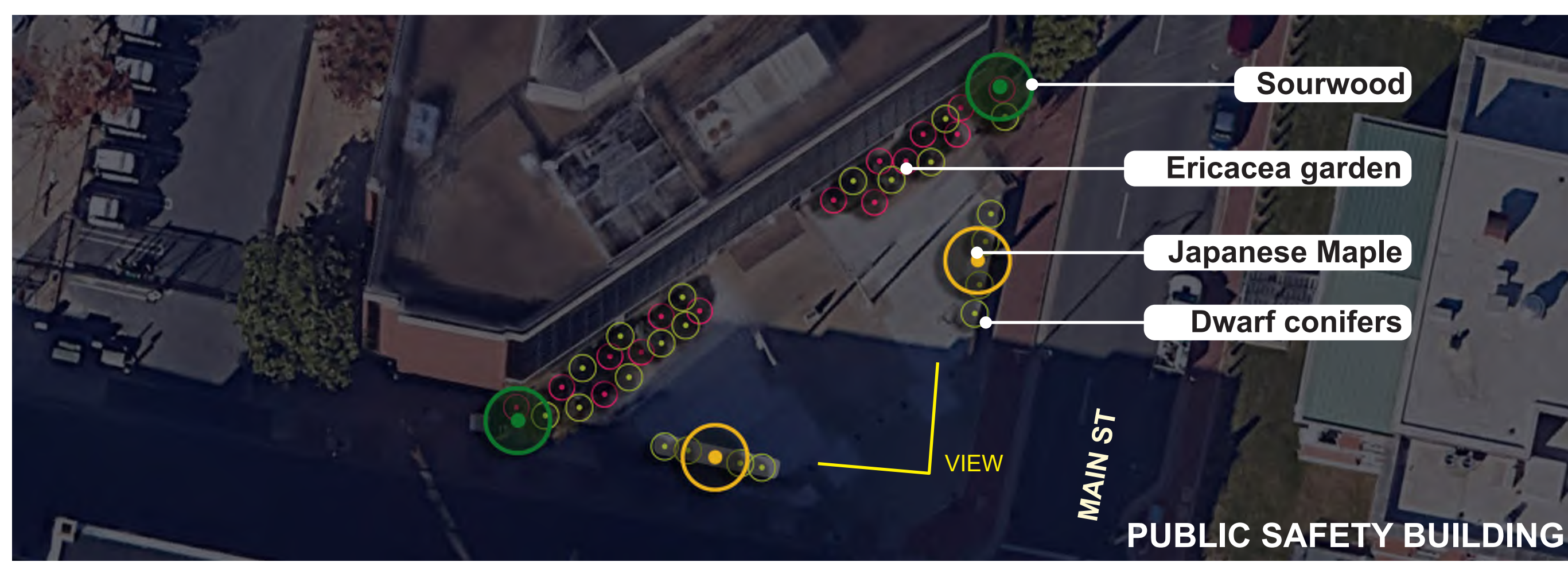
**Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs**

Final Design Concept: Public Plaza (Phase II)
 Perspective and Precedent Images
 March 26th, 2026

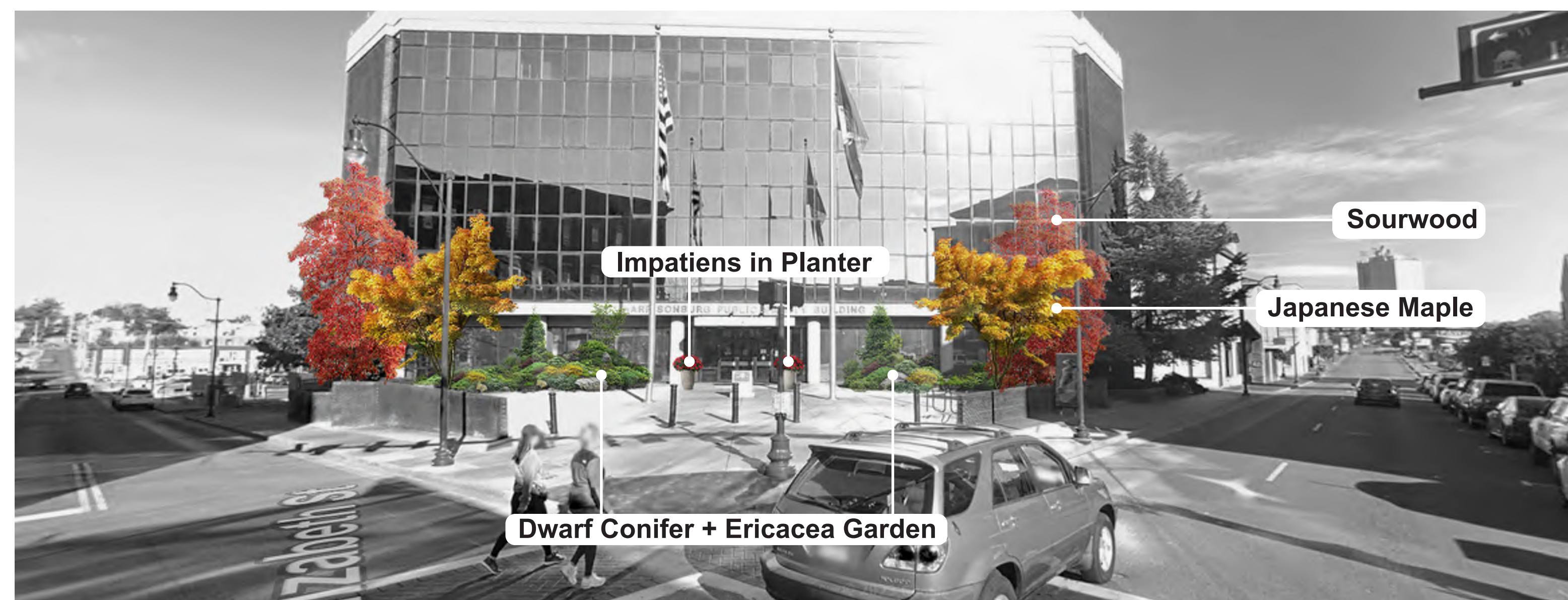
LANDMARK ANCHORS: REINFORCING DOWNTOWN IDENTITY



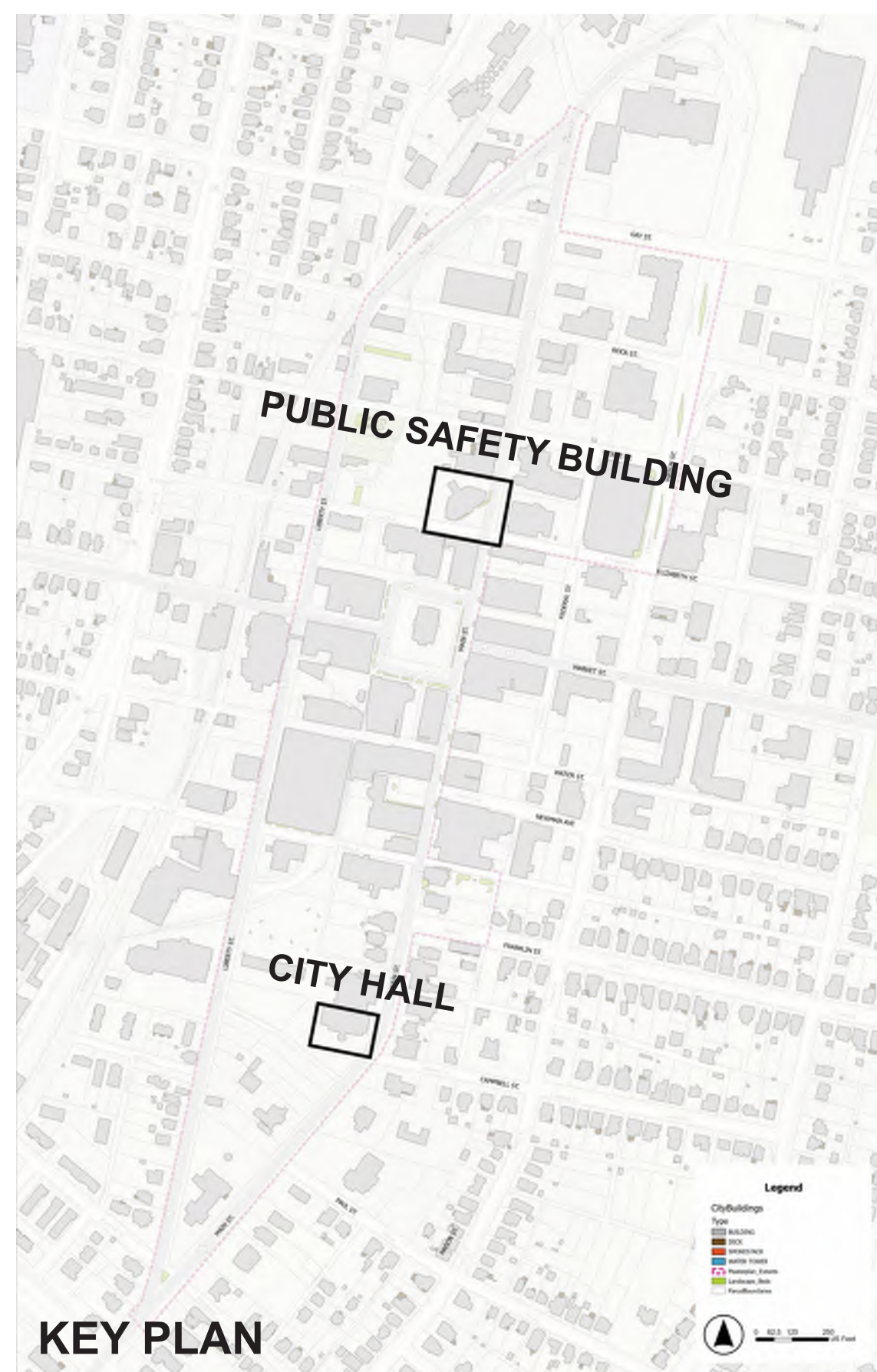
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PLANTING PLAN: Layered planting scheme strategically aligned along the building frontage to frame and enhance the façade. Plants help introduce seasonal color, texture, and a distinctive landmark character.



PERSPECTIVE: Layered plantings frame the façade and highlight the landmark building, combining Japanese maple (Sango Kaku), ericaceous shrubs, conifers, and sourwood for year-round interest and contemporary character.



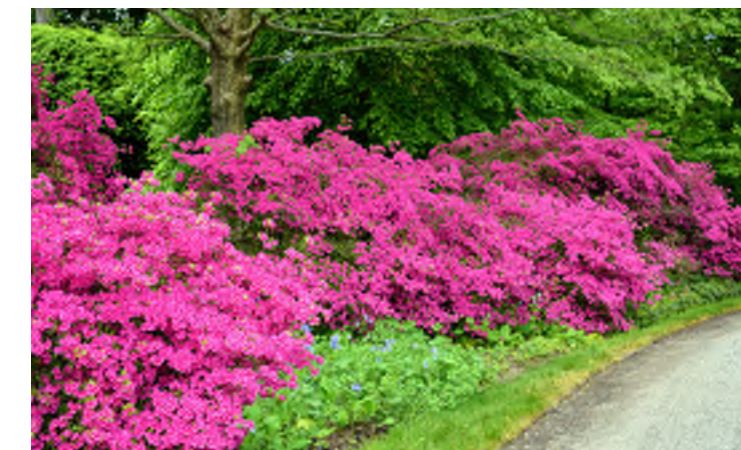
Sourwood (*Oxydendrum arboreum*)



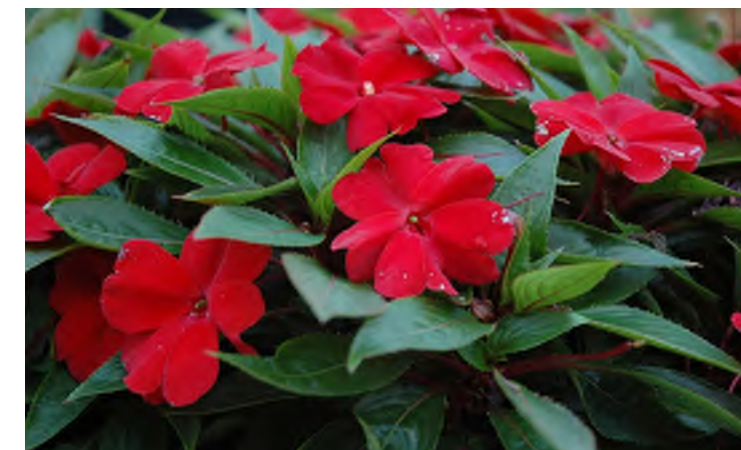
Coral Bark Japanese Maple (*Acer palmatum* 'Sango Kaku')



Red Sunset Maple (*Acer rubrum* 'Red Sunset')



Pinxterbloom Azalea (*Rhododendron periclymenoides*)



Red New Guinea Impatiens (*Impatiens hawkeri* 'Sonic Red')



Catawba rhododendron (*Rhododendron catawbiense*)



Dwarf Conifer Garden



REFERENCE IMAGE: Ericacea garden

NOTES:

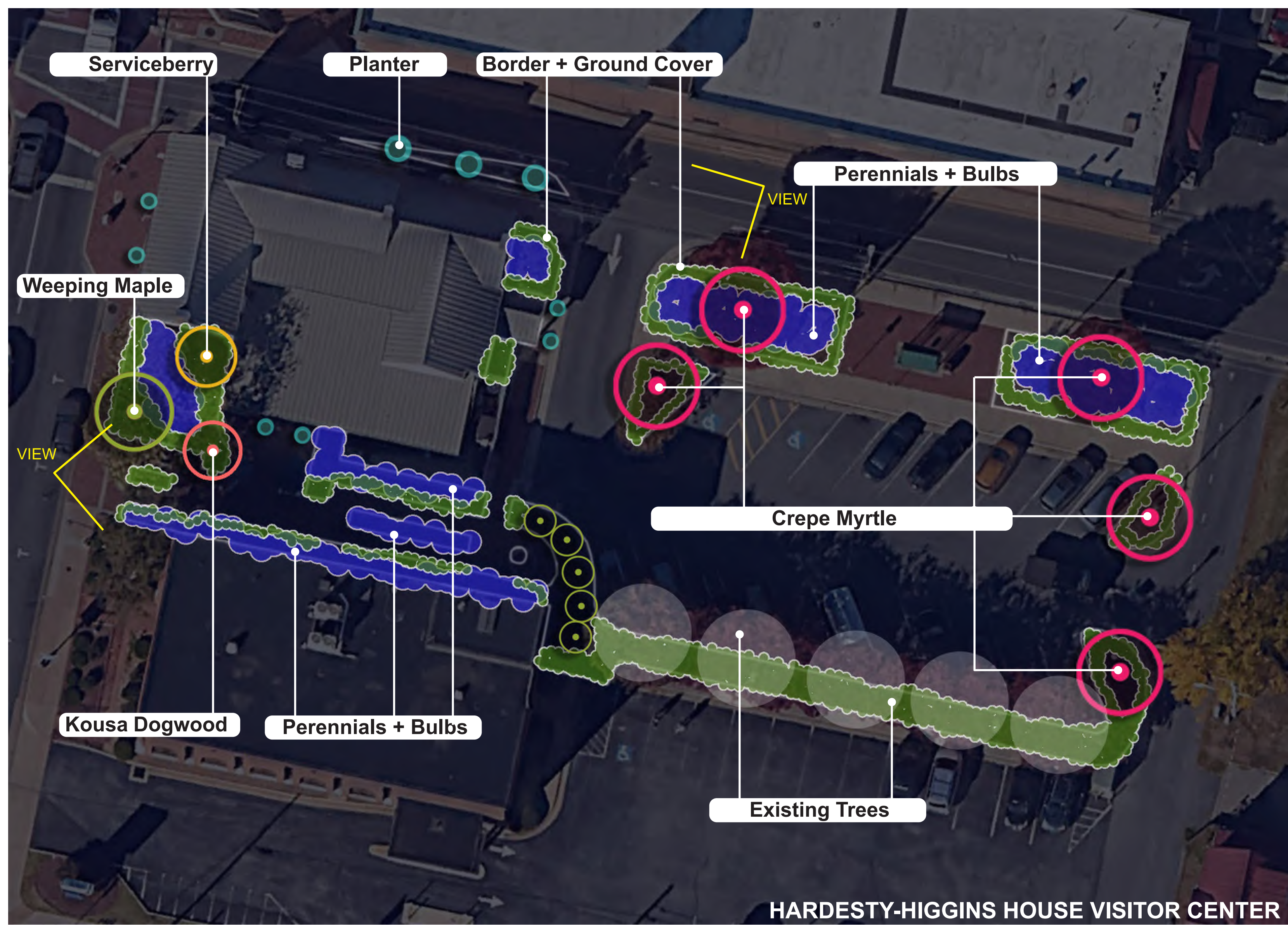
Routine Care for Conifer Garden

Apply a 2" – 4" layer of mulch around the plants to retain moisture and protect roots in extreme weather. Prune in early spring to shape plants and promote healthy growth. Use a balanced granular fertilizer during the spring season.

Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

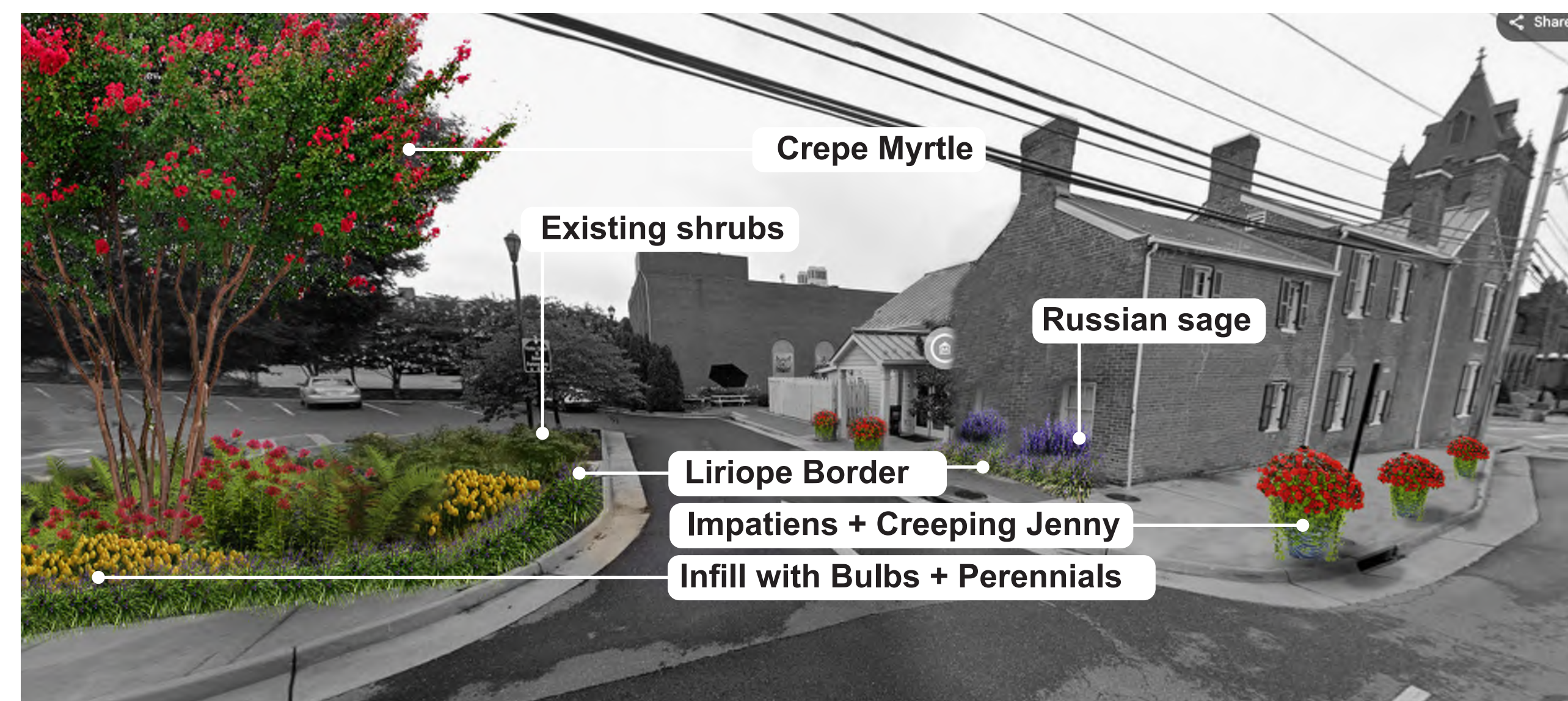
Final Design Concept: Public Safety Building & City Hall (Phase I) Plan, Perspectives, and Planting Palette
 March 26th, 2026

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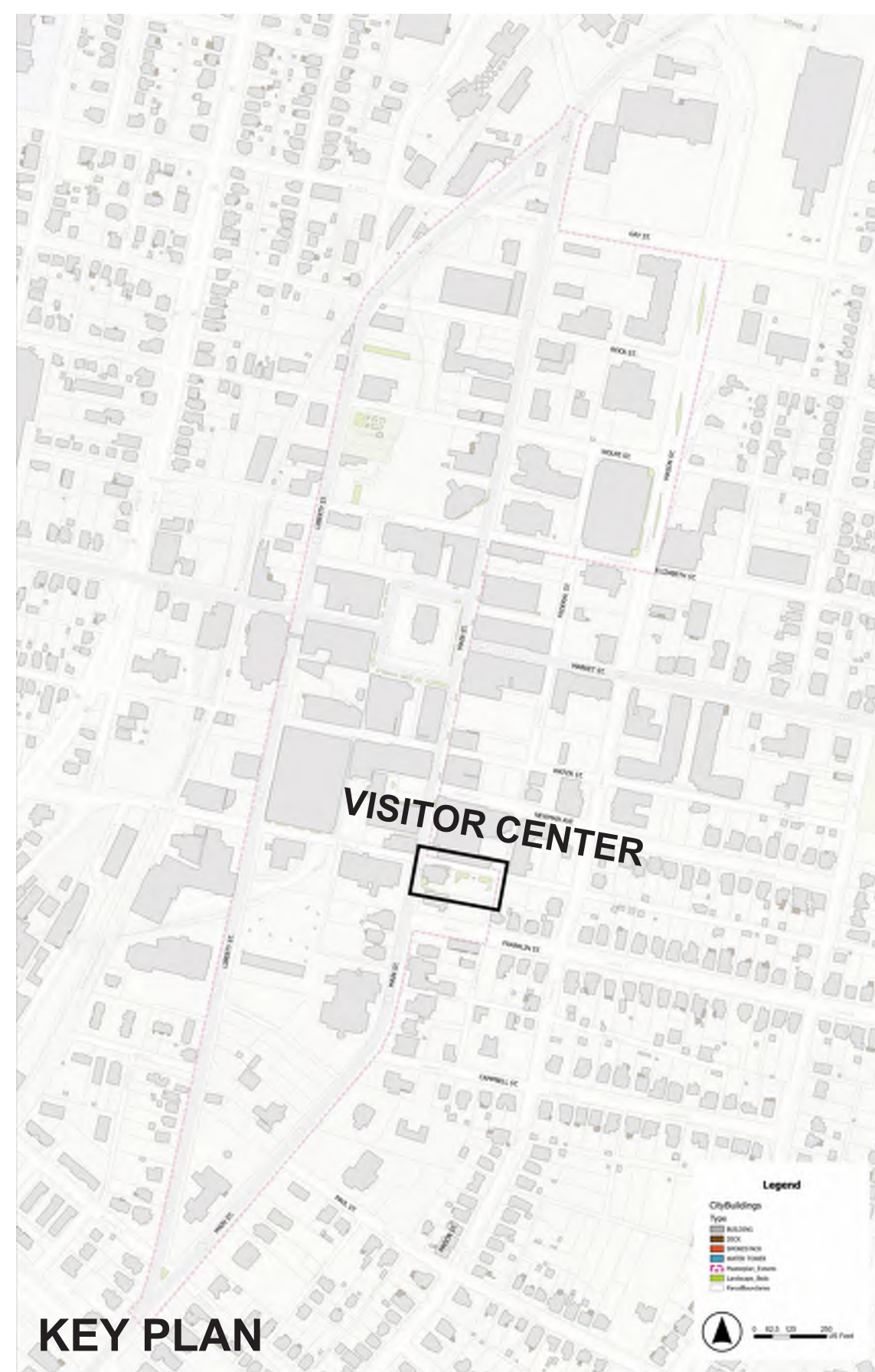


HARDESTY-HIGGINS HOUSE VISITOR CENTER

PLANTING PLAN: Layered planting scheme strategically aligned along the building frontage to frame and enhance the façade. Plants help introduce seasonal color, texture, and a distinctive landmark character.



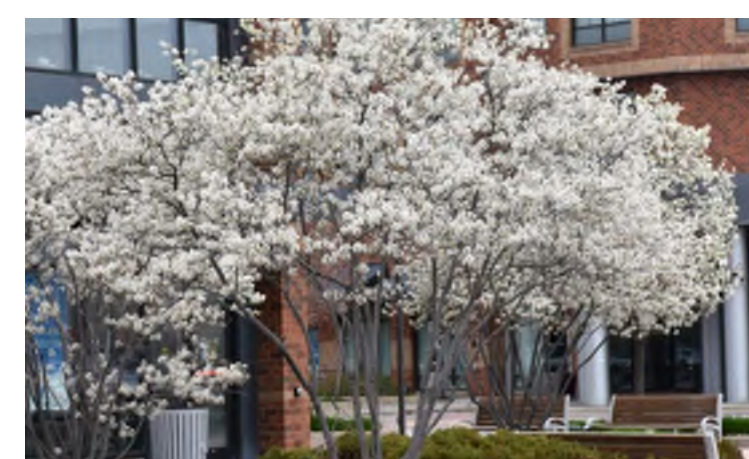
PERSPECTIVE: Layered plantings frame the façade and highlight the landmark building, combining serviceberry, weeping maple, textural groundcover, annuals, bulbs, and shade perennials for year-round interest and contemporary character.



KEY PLAN



Crepe Myrtle (*Lagerstroemia indica* 'Pink Velor')



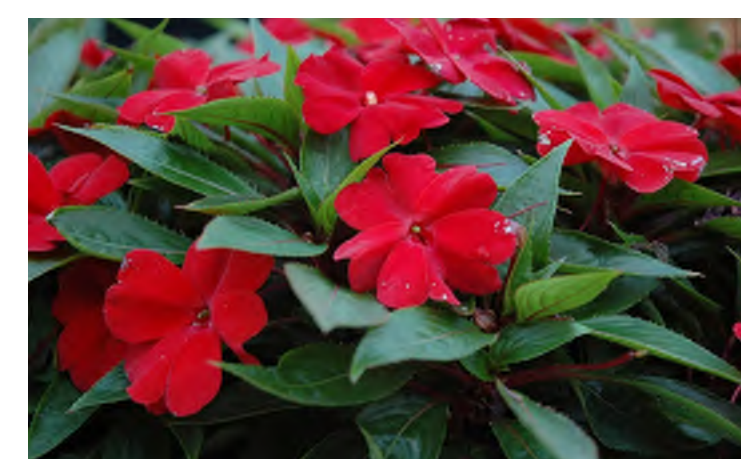
Serviceberry (*Amelanchier laevis* 'Snowcloud')



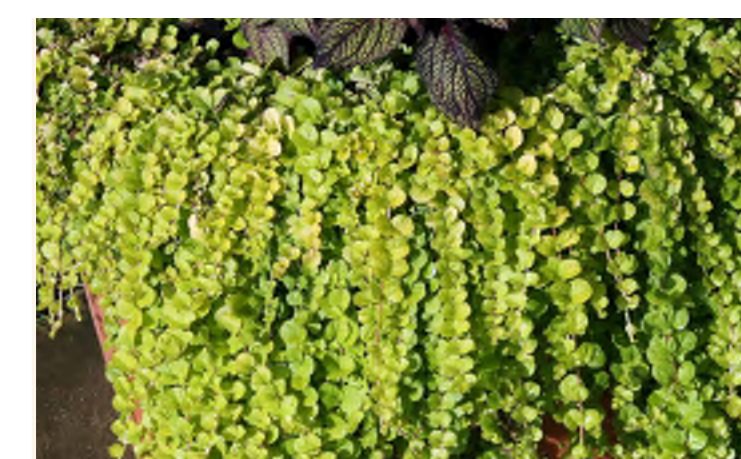
Kousa Dogwood (*Cornus kousa*)



Inaba Maple Japanese (*Acer palmatum* 'Inaba-shidare')



Red New Guinea Impatiens (*Impatiens hawkeri* 'Sonic Red')



Creeping Jenny (*Lysimachia nummularia*)



Russian sage (*Perovskia atriplicifolia*)



Scarlet Bee Balm (*Monarda didyma*)



Sedum 'Autumn Joy' (*Hylotelephium* 'Herbstfreude')



Tall verbena (*Verbena bonariensis*)



Butterfly weed (*Asclepias tuberosa*)



Stained Glass Hosta (*Hosta* 'Stained Glass')



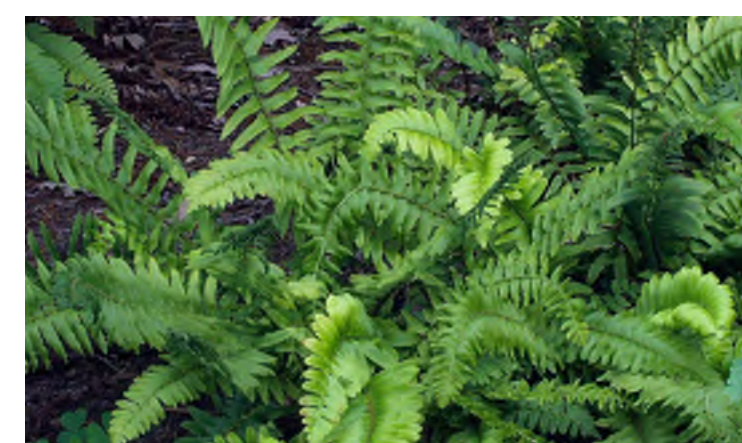
Golden Harvest Daffodil (*Narcissus* 'Golden Harvest')



Purissima Tulip (*Tulipa fosteriana* 'Purissima Blonde')



Wood Hyacinth (*Hyacinthoides hispanica*)



Christmas Fern (*Polystichum acrostichoides*)



Liriope Variegated (*Liriope muscari* 'Variegata')



Japanese spurge (*Pachysandra terminalis*)

Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs

Final Design Concept: Hardesty Higgins Visitor Center (Phase I & II)
 Plan, Perspectives, and Planting Palette
 March 26th, 2026

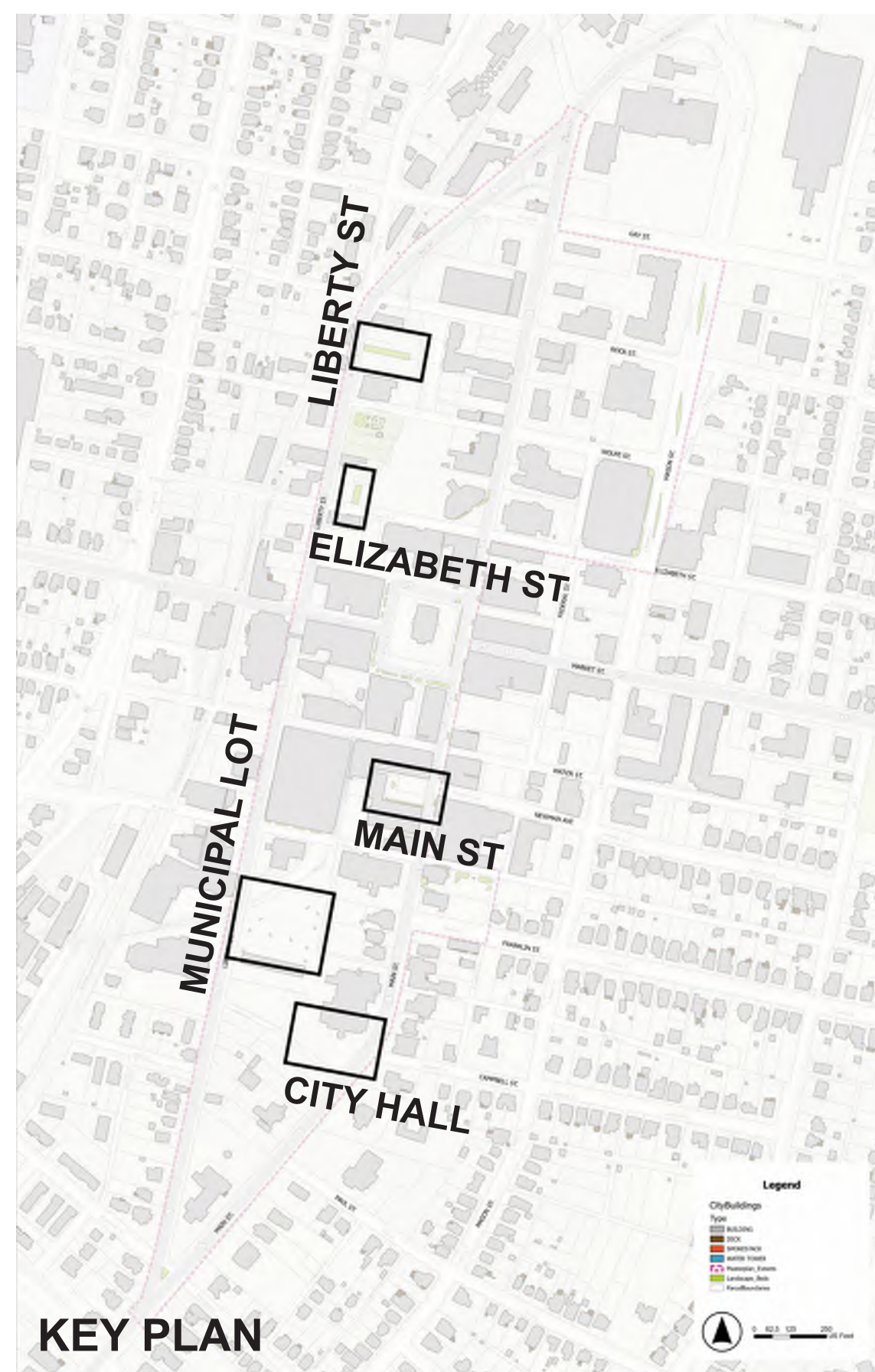
PARKING FACILITIES: SUPPORTING DOWNTOWN ACCESS & CIRCULATION



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PERSPECTIVE: Monumental shade trees and low-maintenance understory planting transform parking lots, reducing heat island effects, slow and reduce runoff and creating a more human-scaled environment.



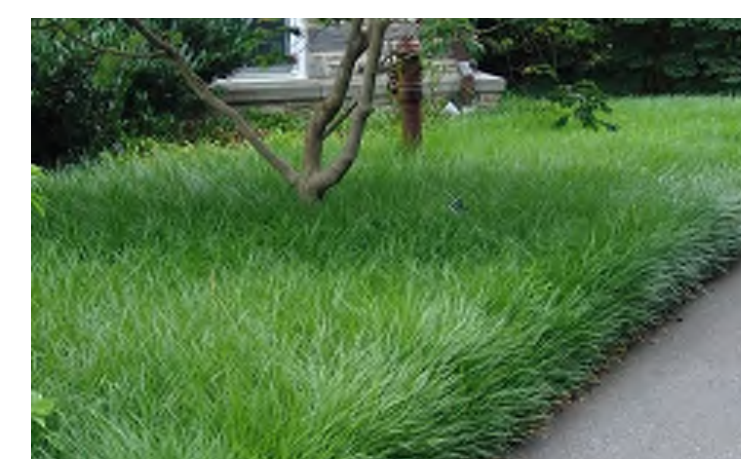
Maple cultivars (*Acer rubrum*)



American Sycamore (*Platanus occidentalis*)



Elm cultivars (*Ulmus americana*)



Liriope (*Liriope spicata*)



Japanese spurge (*Pachysandra terminalis*)



Repandens English Yew (*Taxus baccata* 'Repandens')



Mount Hood Daffodil (*Narcissus* 'Mount Hood')



Wood Hyacinth (*Hyacinthoides hispanica*)



Astilbe (*Astilbe* 'Veronica Klose')



Surprise Lily (*Lycoris squamigera*)



Yellow Autumn Crocus (*Sternbergia lutea*)



Variegated Hosta (*Hosta fortunei* 'Variegated')

NOTES:

To maintain the health and appearance of liriope, cut the foliage back in late winter or early spring before new growth appears to encourage a supply of fresh growth. Begin training young street trees the year after planting and continue through the next three to five years depending on species. Limb trees so they maintain required passage fo

Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Parking Facilities (Phase I) Plan, Perspectives, and Planting Palette
 March 26th, 2026

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**Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs**

Final Design Concept: Parking and Stormwater (Phase II)
 Planting Plan
 March 26th, 2026

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1. Terminal and interior islands help direct drivers, reduce driving speeds within parking lots and help reduce runoff.



2. Terminal and interior islands help direct drivers, break up the expanse of asphalt in parking lots and reduce negative visual impacts of large parking lots.



3. Terminal and interior islands help reduce negative visual impacts of large parking lots.

Harrisonburg: Conceptual Downtown Master Planting Plan
and Focus Area Designs

Final Design Concept: Parking and Stormwater (Phase II)
Perspective and Precedent Images
March 26th, 2026

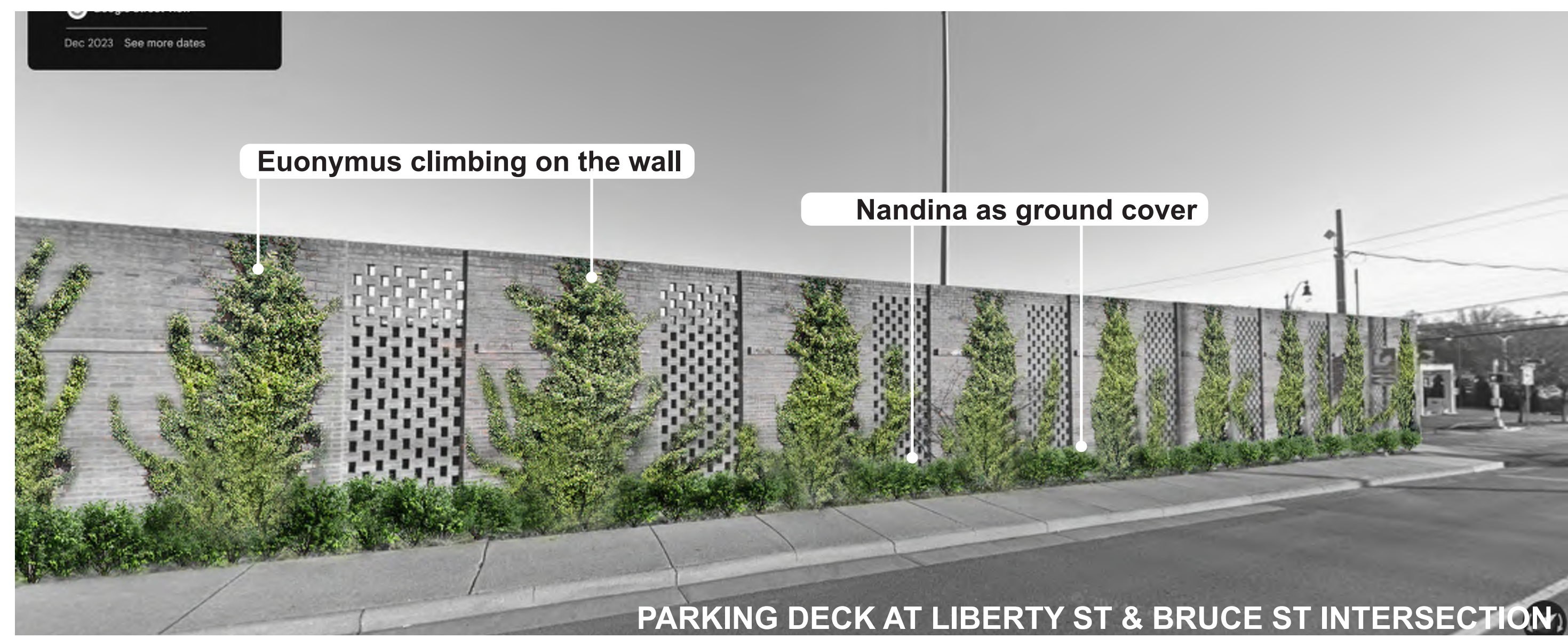
PARKS & EVERYDAY SPACES: BREATHING SPACES OF DOWNTOWN



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PARKING DECK AT LIBERTY ST & BRUCE ST INTERSECTION



PARKING DECK AT LIBERTY ST & BRUCE ST INTERSECTION

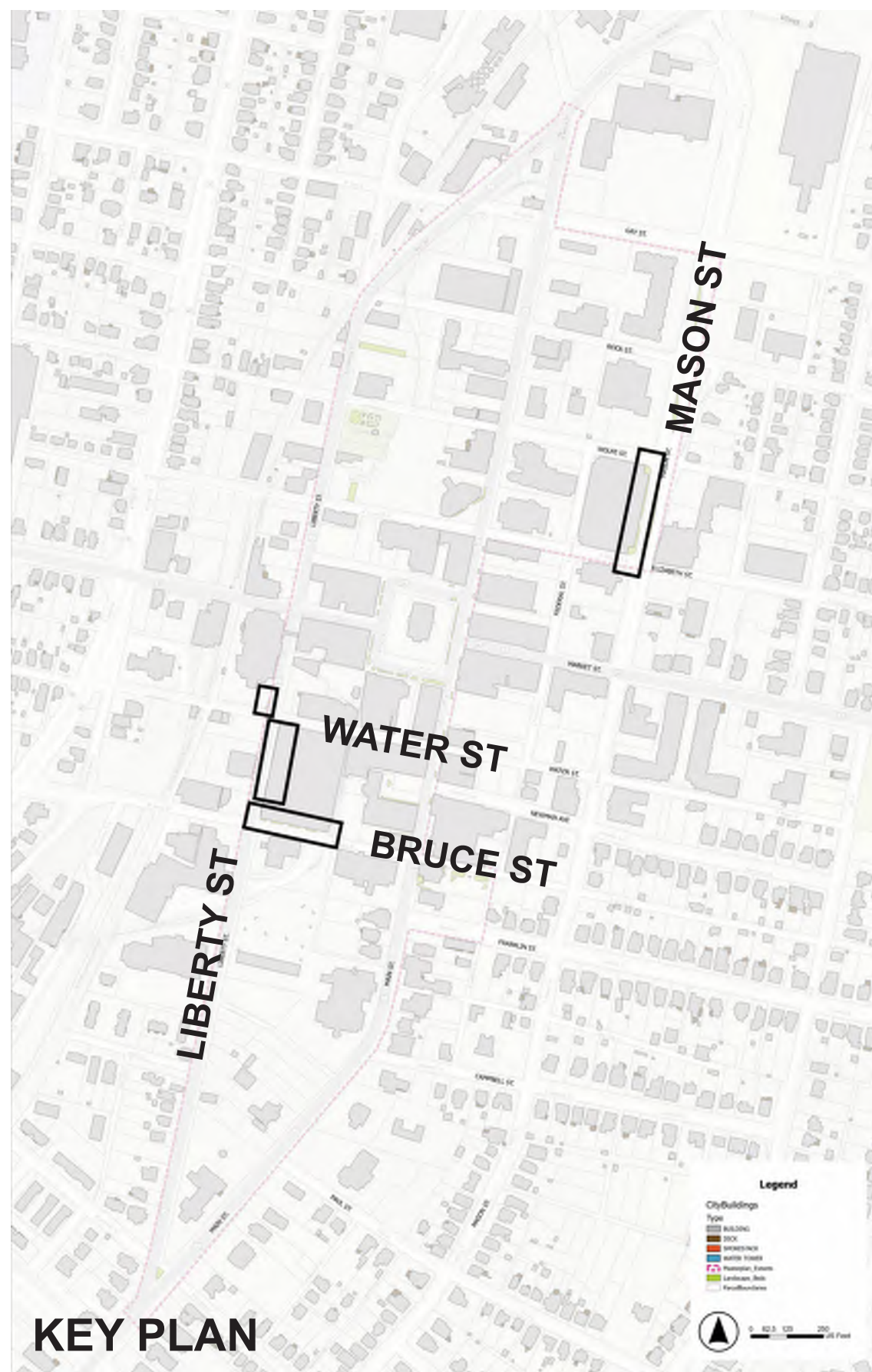


PLANTER BED AT LIBERTY ST & WATER ST INTERSECTION

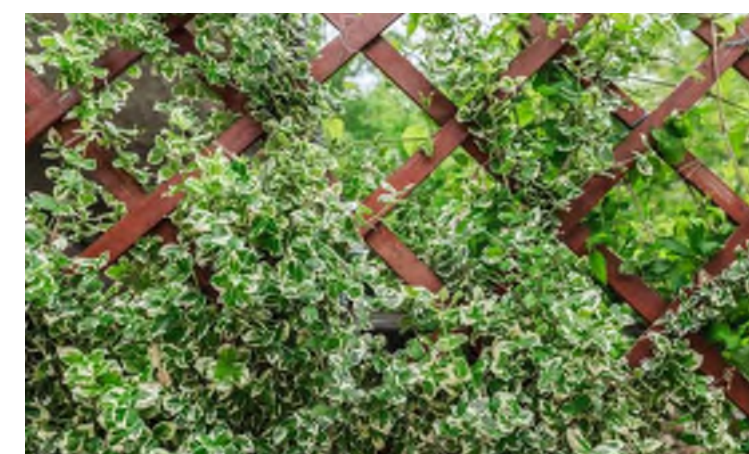


PARKING DECK ON MASON ST

PERSPECTIVE: Wide planting beds allow for layered compositions of native perennials, pollinator species, and seasonal annuals, creating vibrant streetscapes with continuous color and ecological value in full-sun conditions.



Russian sage (*Perovskia atriplicifolia*)



Wintercreeper euonymus (*Euonymus fortunei*)



Purple Joe Pye Weed (*Eutrochium purpureum*)



Chaste tree (*Vitex agnus-castus*)



Scarlet Bee Balm (*Monarda didyma*)



Red/Wild Columbine (*Aquilegia canadensis*)



Black-eyed Susan (*Rudbeckia hirta*)



Firepower Nandina (*Nandina domestica* 'Fire Power')



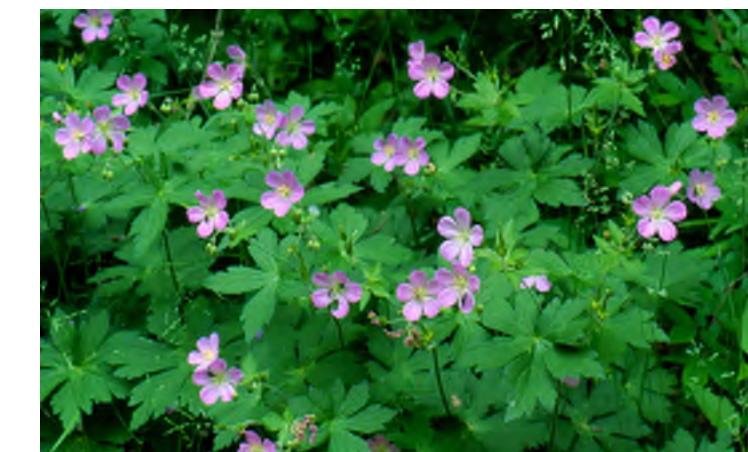
Canna Lily (*Canna x generalis* 'Tropical Bronze Scarlet')



Sweet Potato vine (*Ipomoea batatas* 'Margarita')



White turtlehead (*Chelone glabra* L.)



Wild Geranium (*Geranium maculatum*)



Sedum 'Autumn Joy' (*Hylothelephium* 'Herbstfreude')



Thailand Giant Elephant Ear (*Colocasia gigantea*)



Annual & Perennial Seed Mix

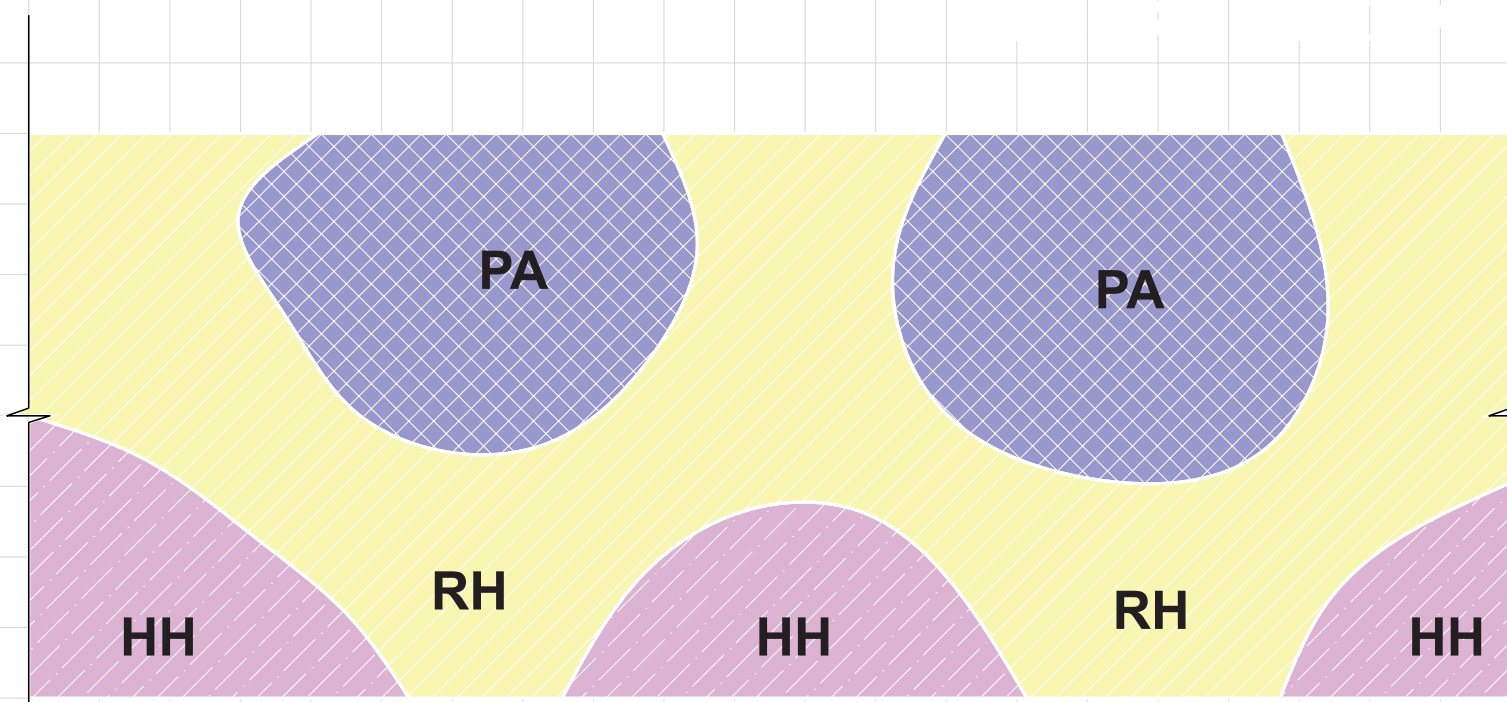
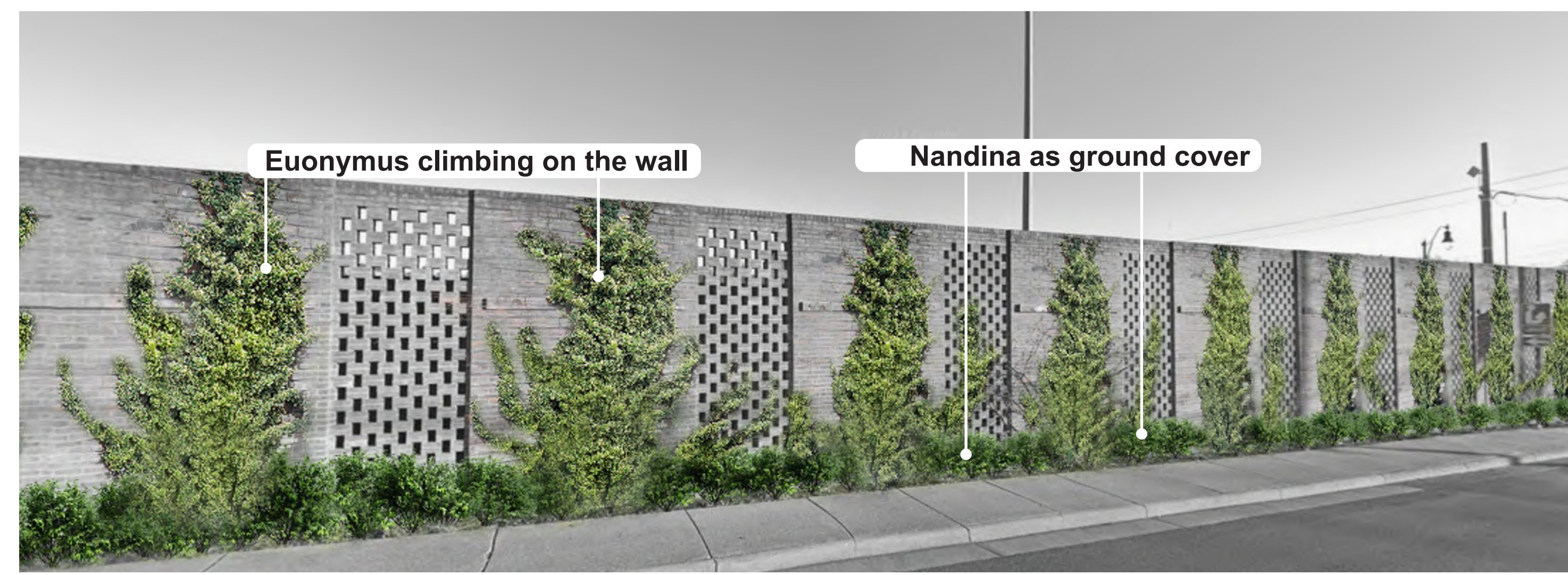
PERENNIALS
 Asclepias tuberosa
 Coreopsis lanceolata
 Coreopsis verticillata
 Echinacea purpurea
 Gaillardia aristata
 Phlox paniculata
 Rudbeckia hirta
 Verbena bonariensis

ANNUALS
 Centaurea cyanus
 Coreopsis tinctoria
 Cosmos bipinnatus
 Cosmos sulphureus
 Eschscholzia californica
 Nigella damascena

Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

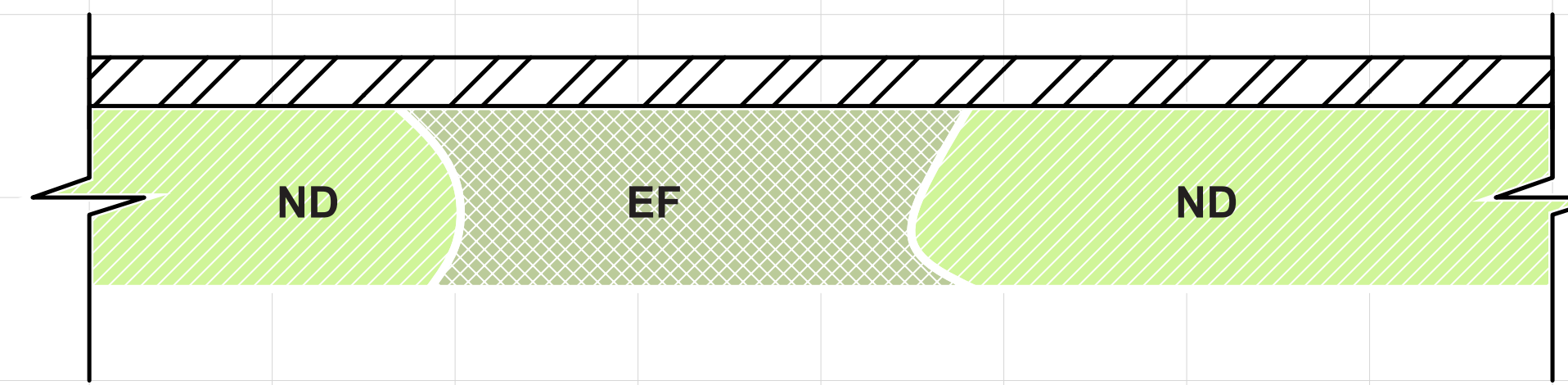
Final Design Concept: City Landscape Beds (Phase I) Plan, Perspectives, and Planting Palette
 March 26th, 2026

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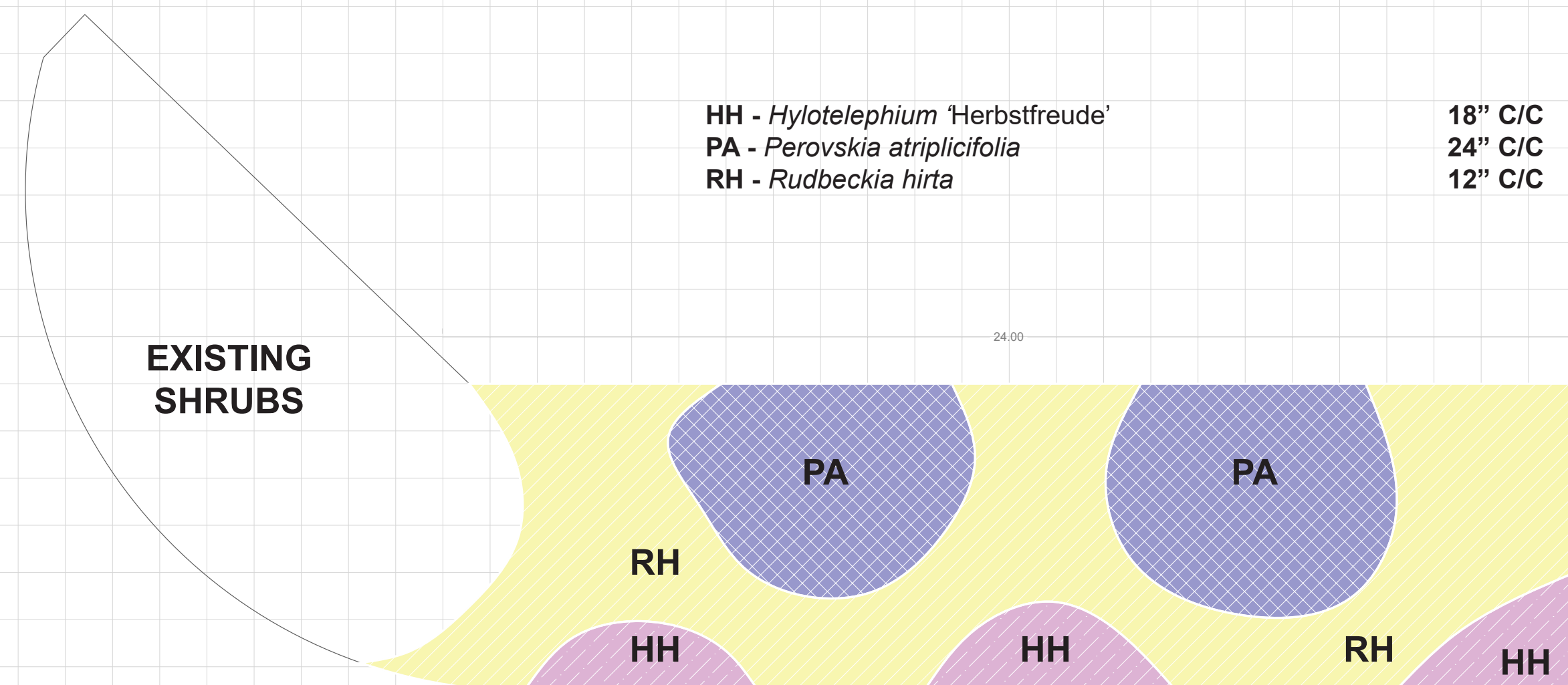
HH - *Hylotelephium 'Herbstfreude'*
 PA - *Perovskia atriplicifolia*
 RH - *Rudbeckia hirta*

18" C/C
 24" C/C
 12" C/C



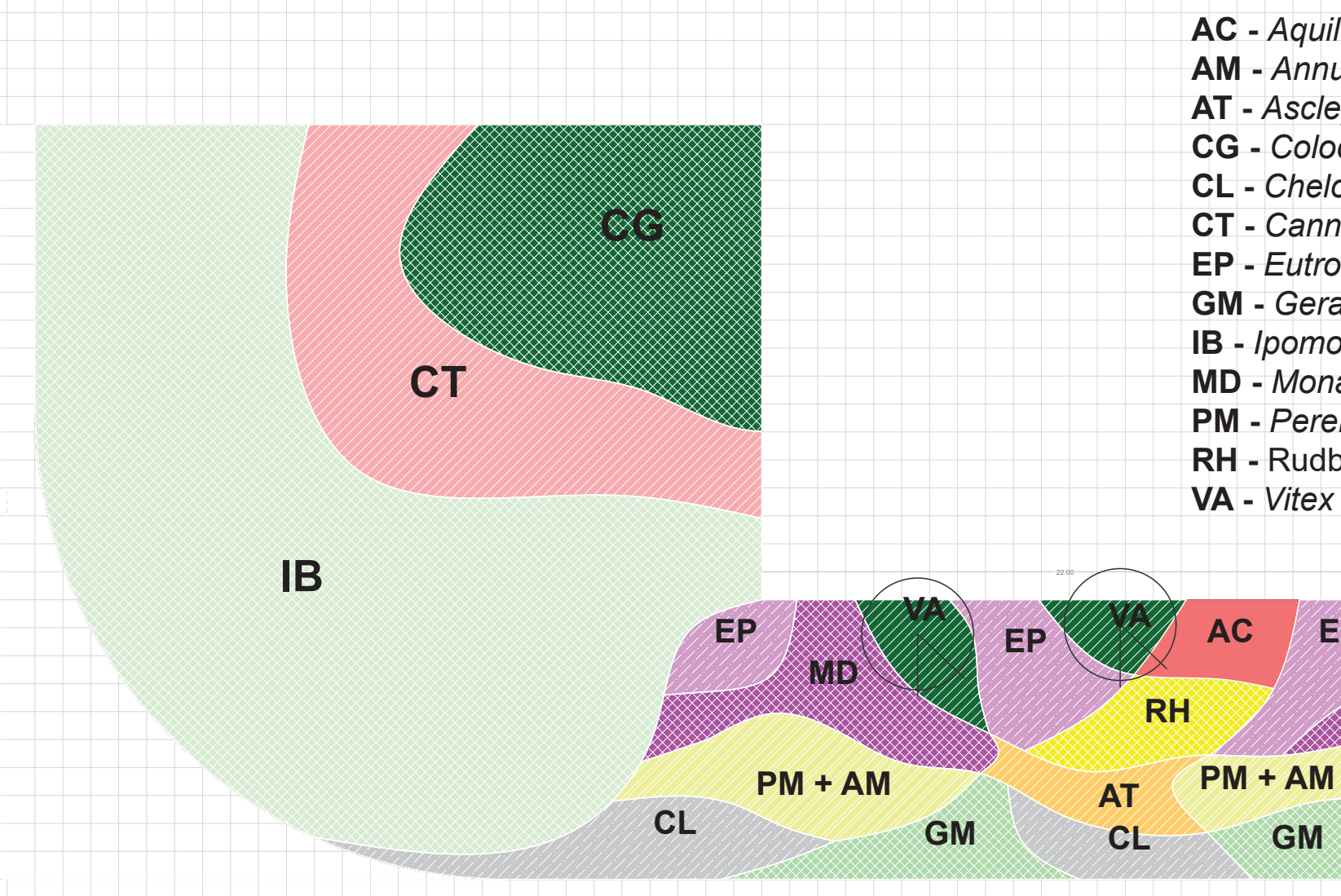
EF - *Euonymus fortunei*
 ND - *Nandina domestica 'Fire Power'*

24" C/C
 18" C/C



HH - *Hylotelephium 'Herbstfreude'*
 PA - *Perovskia atriplicifolia*
 RH - *Rudbeckia hirta*

18" C/C
 24" C/C
 12" C/C



AC - *Aquilegia canadensis* 12" C/C
 AM - Annual Mix 12" C/C
 AT - *Asclepias tuberosa* 12" C/C
 CG - *Colocasia gigantea* 30" C/C
 CL - *Chelone glabra L.* 18" C/C
 CT - *Canna x generalis 'Tropical Bronze Scarlet'* 18" C/C
 EP - *Eutrochium purpureum* 24" C/C
 GM - *Geranium maculatum* 12" C/C
 IB - *Ipomoea batatas 'Margarita'* 18" C/C
 MD - *Monarda didyma* 18" C/C
 PM - Perennial Mix 12" C/C
 RH - *Rudbeckia hirta* 12" C/C
 VA - *Vitex agnus-castus* 48" C/C

**Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs**

Final Design Concept: City Landscape Beds (Phase I)
 Perspectives and Planting Plans
 March 26th, 2026

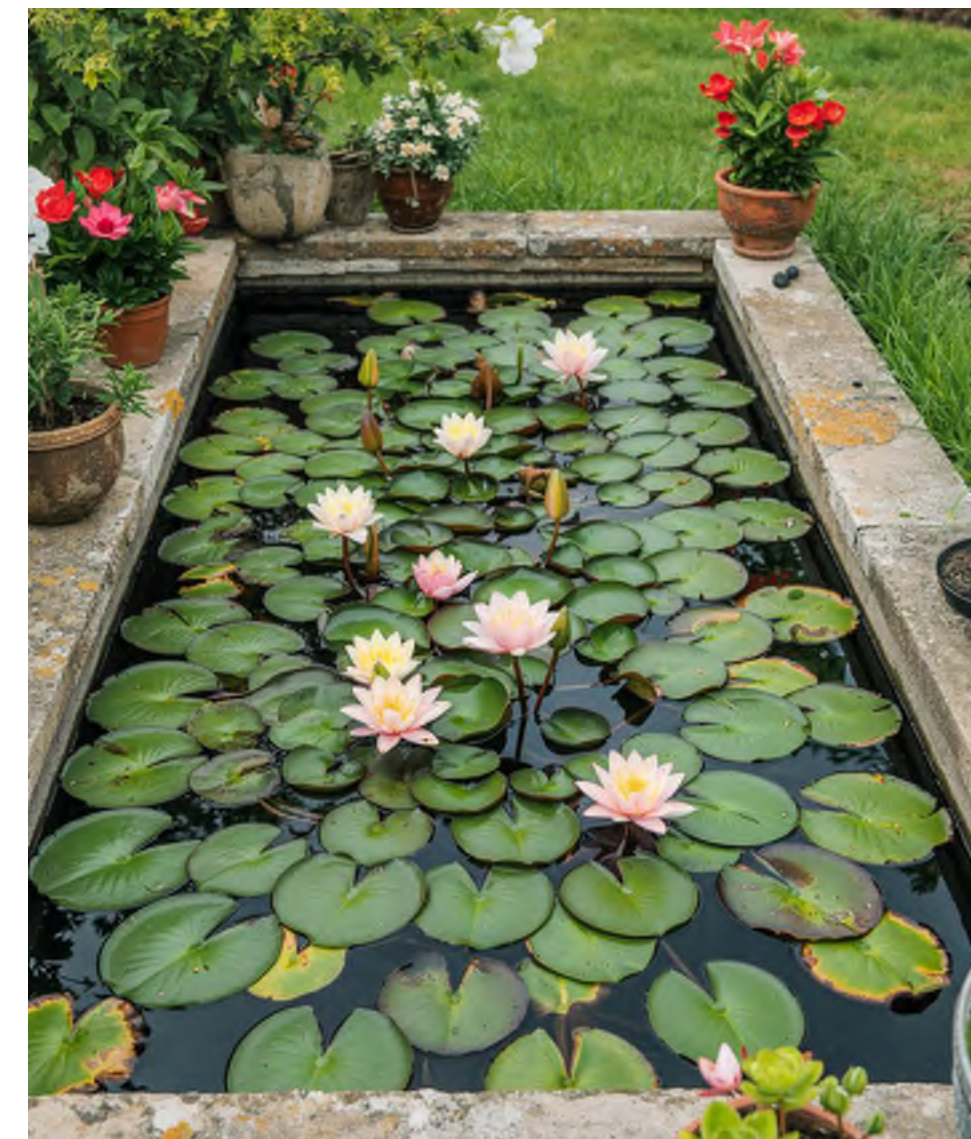
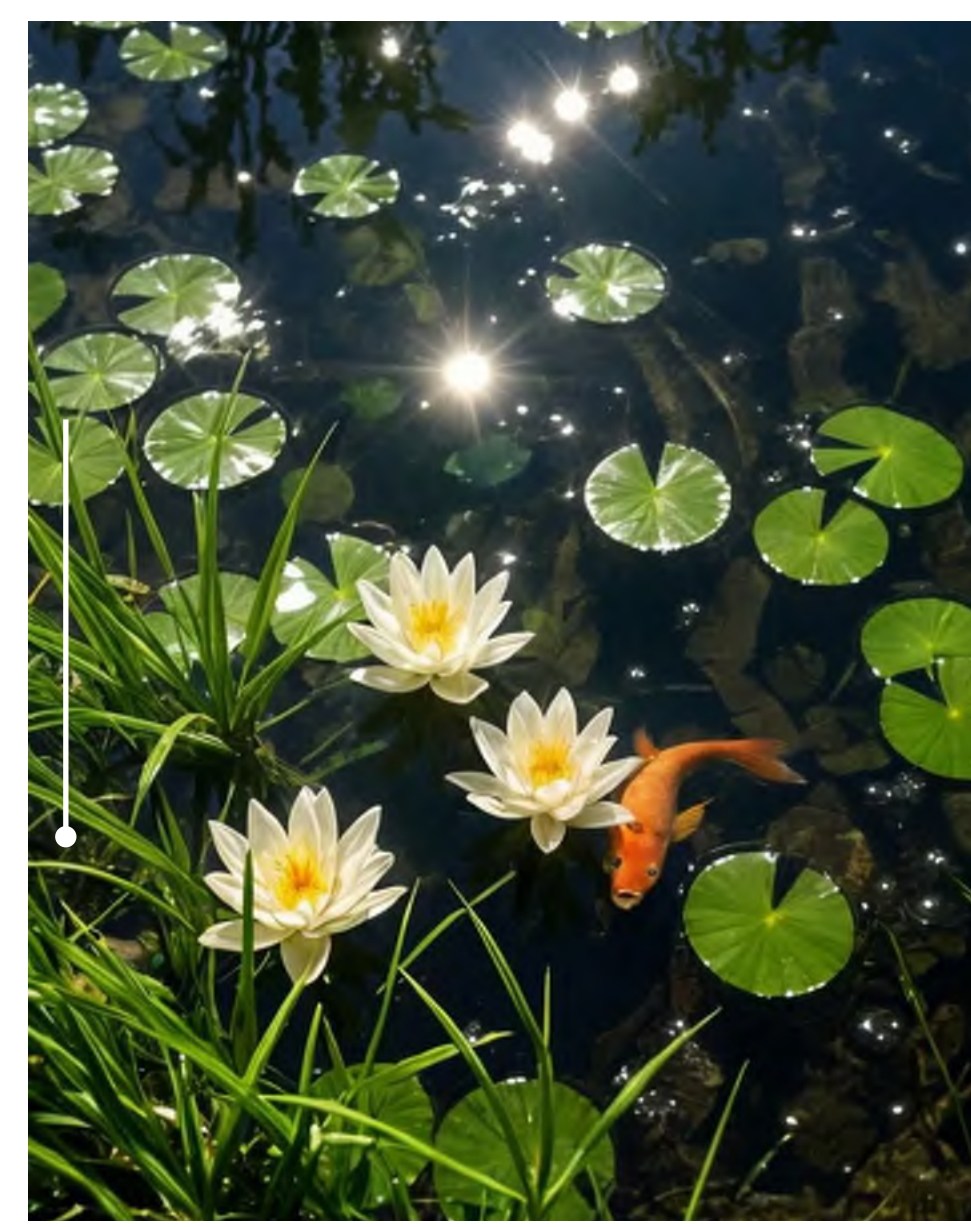
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PERSPECTIVE: Planter walls feature a diverse palette selected for textural contrast, seasonal variation, and staggered bloom periods, creating an educational arboretum experience that highlights plant diversity throughout the year.



PERSPECTIVE: The planter wall incorporates a small reflective water feature to introduce sensory interest. Alternatively, the planter may be lined and filled with gravel and soil to support a display of white impatiens, providing consistent bloom.



Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Denton Park (Phase I & II)
 Plan, Perspectives, and Planting Palette
 March 26th, 2026



Yellow Trout Lily
(Erythronium americanum)



Small – cupped Daffodil
(Narcissus ‘Actaea’)



Heartleaf Bergenia
(Bergenia cordifolia)



Burgundy Tulipa (*Tulipa* spp. ‘Queen of the Night’)



Dicentra (*Dicentra* ‘Pink Diamonds’)



Surprise Lily (*Lycoris squamigera*)



Astilbe (*Astilbe* ‘Veronica Klose’)



Variegated Hosta (*Hosta fortunei* ‘Variegated’)



Solomon Seal (*Polygonatum biflorum*)



Japanese anemones
(Anemone coronaria)



Autumn Crocus (*Colchicum autumnale*)



Bloodroot (*Sanguinaria canadensis*)



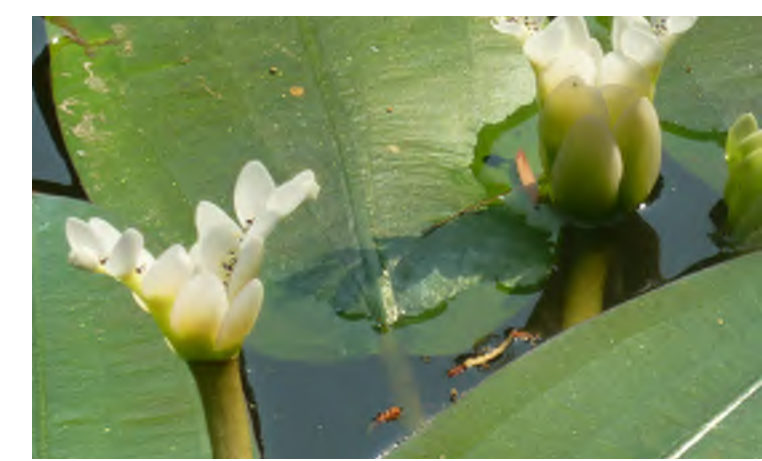
Christmas fern
(Polystichum acrostichoides)



Maidenhair fern (*Adiantum pedatum*)



Lady Fern (*Athyrium filix-femina*)



Water Hawthorn
(Aponogeton distachyos)

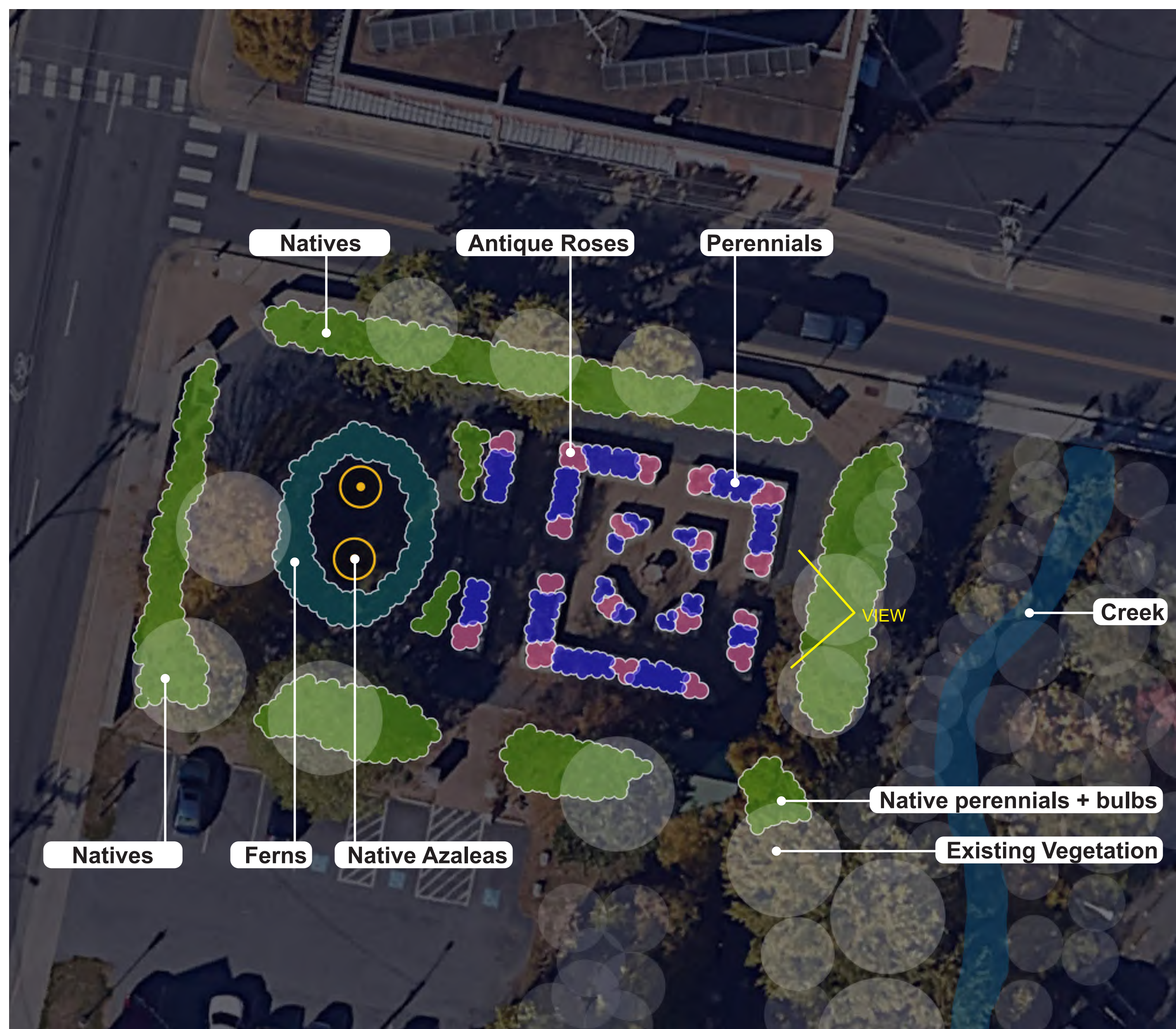


American lotus (*Nelumbo lutea*)



Dicentra (*Dicentra* ‘Pink Diamonds’)

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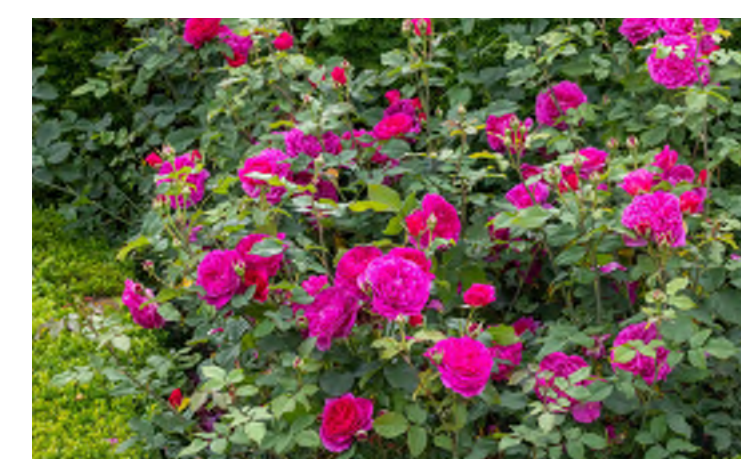
PLANTING PLAN: A cohesive planting strategy merging structured and naturalistic zones through a diverse palette of natives, perennials, antique roses, pollinator species, and ferns.



PERSPECTIVE: A structured garden composition where antique roses and purple perennials work in contrast—balancing softness with structure and richness in texture.



Eustacia Vye (Ausegdon)



Gabriel Oak (Auscrowd)



Elizabeth (Ausmajesty)



Dannahue (Ausa6b15)



Grace (Auskeppy)



Catmint (*Nepeta 'Walkers Low'*)



Meadow sage (*Salvia nemorosa 'Blue by You'*)



Lavender (*Lavandula angustifolia*)



REFERENCE IMAGE: Formal rose garden bed



REFERENCE IMAGE: Perennial mix in pink & blue



Globe amaranth (*Gomphrena globosa*)



Scarlet Bee Balm (*Monarda didyma*)



Black-eyed Susan (*Rudbeckia hirta*)



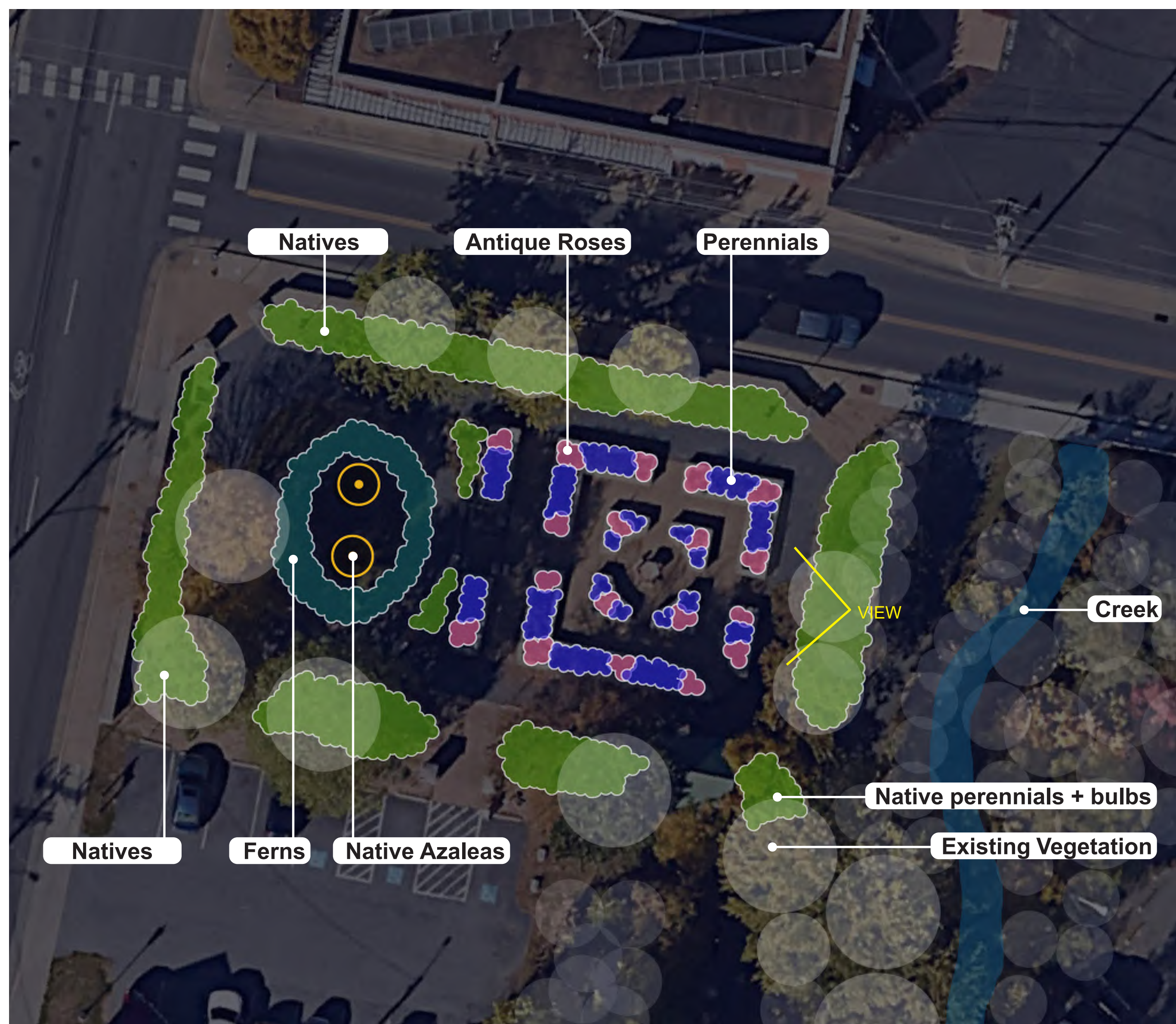
Tall verbena (*Verbena bonariensis*)

NOTES:
 Routine Care for Antique Roses : Apply a 2" – 4" layer of mulch around the roses to retain moisture and protect roots in extreme weather. Prune in early spring to shape plants and promote healthy growth. Use a balanced liquid fertilizer during the growing season. Flowers are bred by David Austin.

Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Liberty Park Formal Garden (Phase I) Plan, Perspectives, and Planting Palette
 March 26th, 2026

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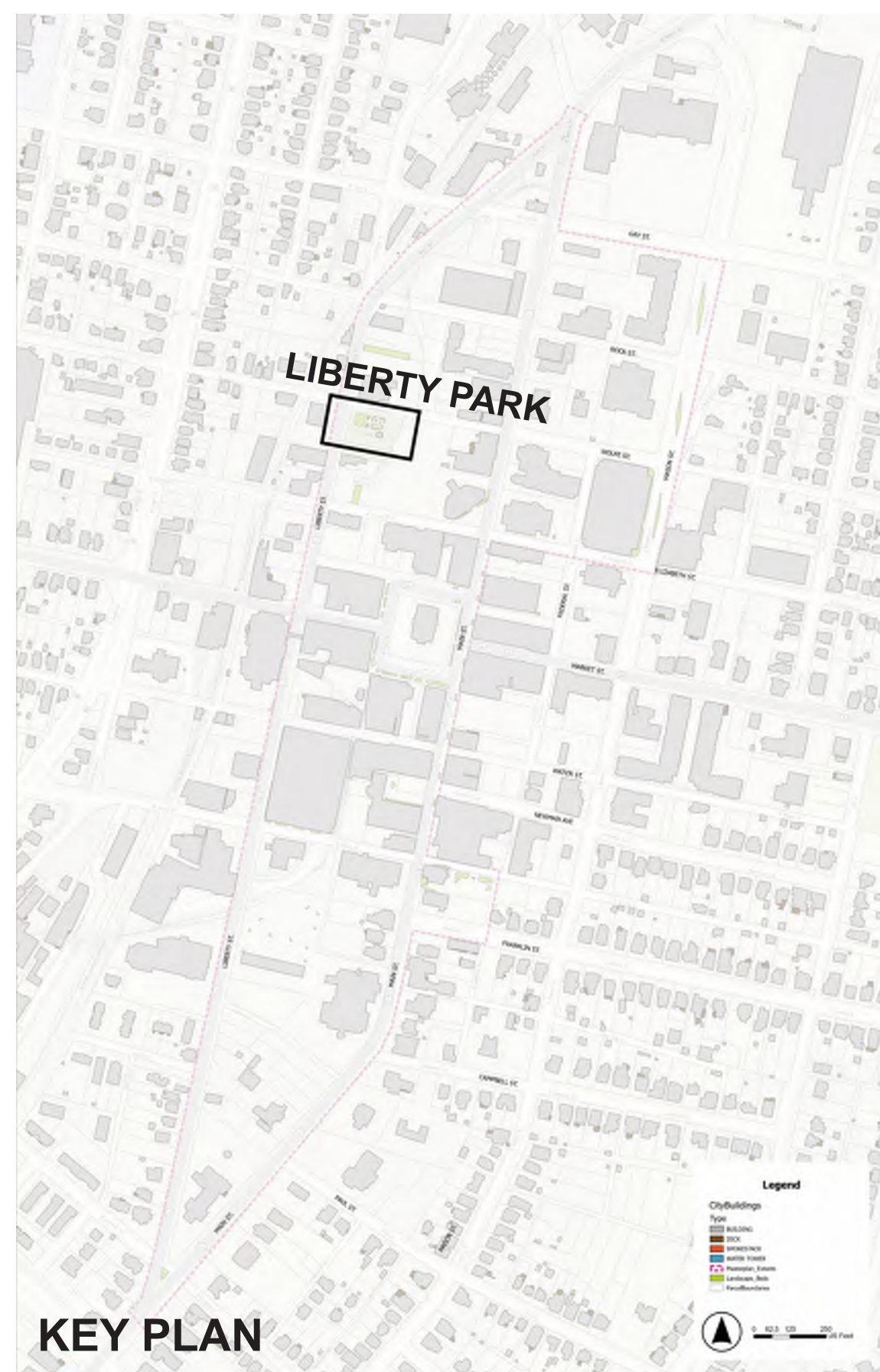
PLANTING PLAN: A cohesive planting strategy merging structured and naturalistic zones through a diverse palette of natives, perennials, antique roses, pollinator species, and ferns.



PERSPECTIVE: Informal lawn composition structured by native azaleas, with a naturalistic understory of native perennials enhancing texture and seasonality.

Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Liberty Park Lawn Area (Phase I) Plan, Perspectives, and Planting Palette
 March 26th, 2026



Flame Azalea (*Rhododendron calendulaceum*)



Solomon Seal (*Polygonatum biflorum*)



Golden Ragwort (*Packera aurea*)



Christmas fern (*Polystichum acrostichoides*)



Large – cupped Daffodil (*Narcissus 'Ice Follies'*)



Foamflower (*Tiarella cordifolia* L.)



Maidenhair fern (*Adiantum pedatum*)



Trumpet Daffodil (*Narcissus 'Mounthood'*)



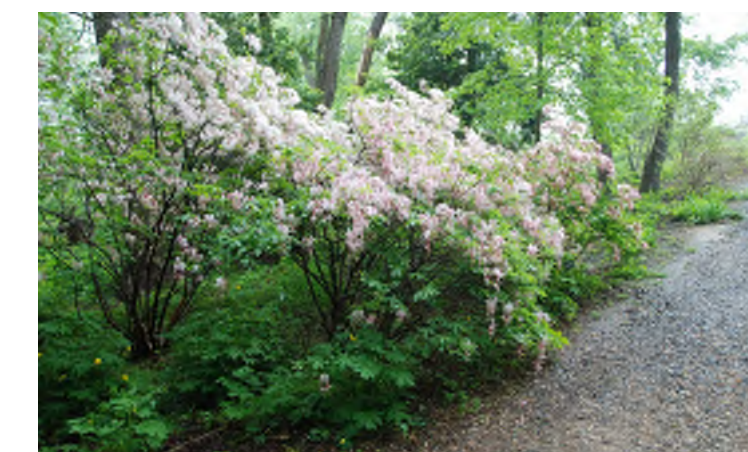
Red/Wild Columbine (*Aquilegia canadensis*)



Lady Fern (*Athyrium filix-femina*)



Botanical Daffodil (*Narcissus 'Tete-a-tete'*)



Pinxsterbloom Azalea (*Rhododendron periclymenoides*)



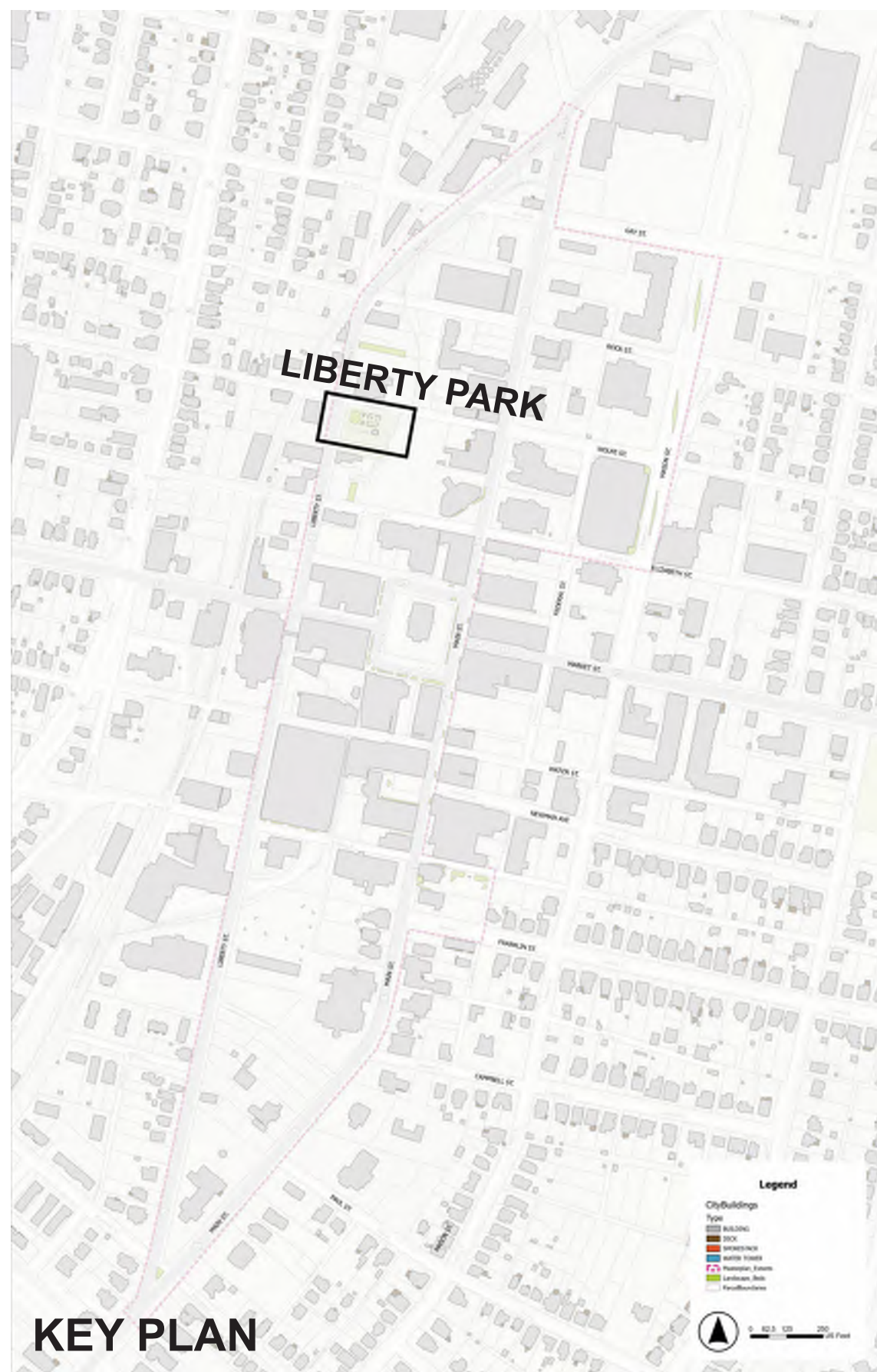
REFERENCE IMAGE: Naturalized daffodil understory

- PERENNIALS - FLOWERING**
- Alcea rosea*
 - Rudbeckia hirta*
 - Echinacea purpurea*
 - Phlox paniculata*
 - Hemerocallis* spp.
 - Achillea millefolium*
 - Penstemon* spp.



REFERENCE IMAGE: Fern understory

- PERENNIALS - MASSING**
- Lavandula angustifolia*
 - Nepeta 'Walker's Low'*
 - Heuchera* spp.



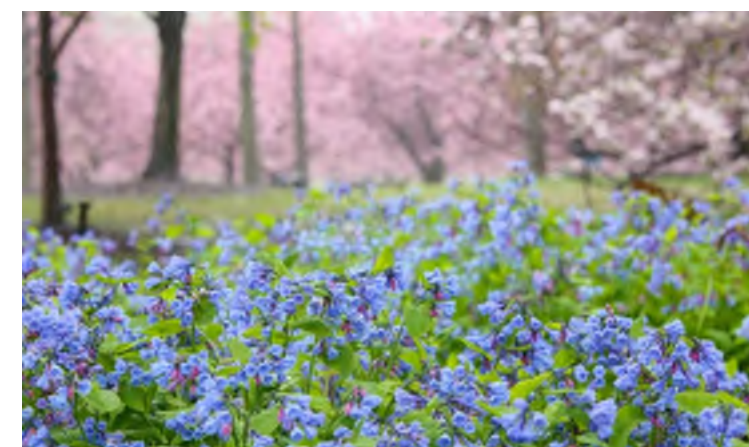
Black Cohosh (*Actaea racemosa*)



Cardamine concatenate (*Cutleaf Toothwort*)



Dutchman's Breeches (*Dicentra cucullaria*)



Virginia Bluebells (*Mertensia virginica*)



May Apple (*Podophyllum peltatum*)



Bellwort (*Uvularia grandiflora*)



American Dogwood (*Cornus florida*)



Wood Anemone (*Anemonoides quinquefolia*)



Maidenhair fern (*Adiantum pedatum*)



Yellow Trout Lilly (*Erythronium americanum*)



Small-cupped daffodil (late spring) (*Narcissus 'Actaea'*)



Solomon's Seal (*Polygonatum biflorum*)



Flame Azalea (*Rhododendron calendulaceum*)



'Autumn Gold' Ginkgo (*Ginkgo biloba*)



Rue Anemone (*Anemonella thalictroides*)



Lady Fern (*Athyrium filix-femina*)



Wild Geranium (*Geranium maculatum*)



Large-cupped daffodil (mid spring) (*Narcissus 'Ice Follies'*)



Blood Root (*Sanguinaria canadensis*)



Rhododendron (*Rhododendron catawbiense*)



Witch Hazel (*Hamamelis virginiana*)



Virginia Anemone (*Anemone virginiana*)



Spring Beauty (*Claytonia virginica*)



Round Lobe Hepatica (*Hepatica americana*)



Trumpet daffodil (midspring) (*Narcissus 'Mount Hood'*)



Foamflower (*Tiarella cordifolia*)



Bloodgood Japanese Maple (*Acer palmatum 'Bloodgood'*)



Cucumber Magnolia (*Magnolia acuminata*)



Red/Wild Columbine (*Aquilegia canadensis*)



Moccasin flower (*Cypripedium acaule*)



Crested Iris (*Iris cristata*)



Botanical daffodil (earllyspring) (*Narcissus 'Tete a Tete'*)



Red Trillium (*Trillium erectum*)



Downy Service Berry (*Amelanchier arborea*)



Sweetbay Magnolia (*Magnolia virginiana*)



Jack in the Pulpit (*Arisaema triphyllum*)



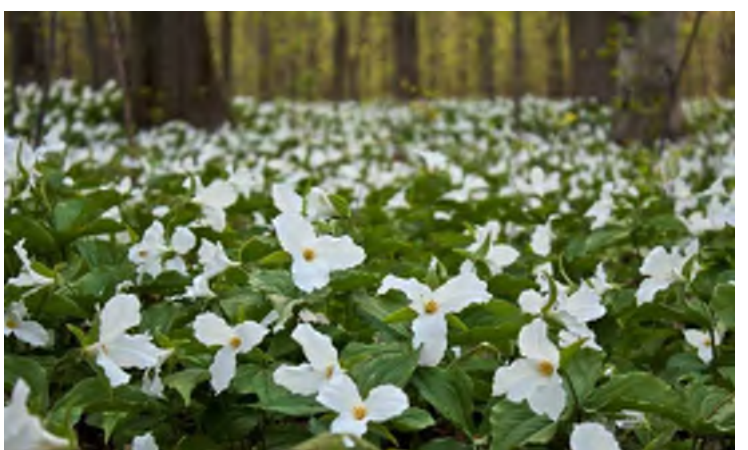
Yellow Lady's Slipper (*Cypripedium parviflorum*)



Solomon's Plume (*Maianthemum racemosum*)



Woodland Phlox (*Phlox divaricate*)



Large Trillium (*Trillium grandiflorum*)



Eastern Redbud (*Cercis canadensis*)



Norway Spruce (*Picea abies*)

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Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Liberty Park Lawn Area (Phase I) Planting Palette
 March 26th, 2026

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**Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs**

Final Design Concept: Blacks Run Trail Corridor (Phase II)
 Perspective and Precedent Images
 March 26th, 2026



1. Daylighted creek edges with accessible seating and naturalized banks transform asphalt into a continuous green corridor, introducing ecological function and public open space within downtown.

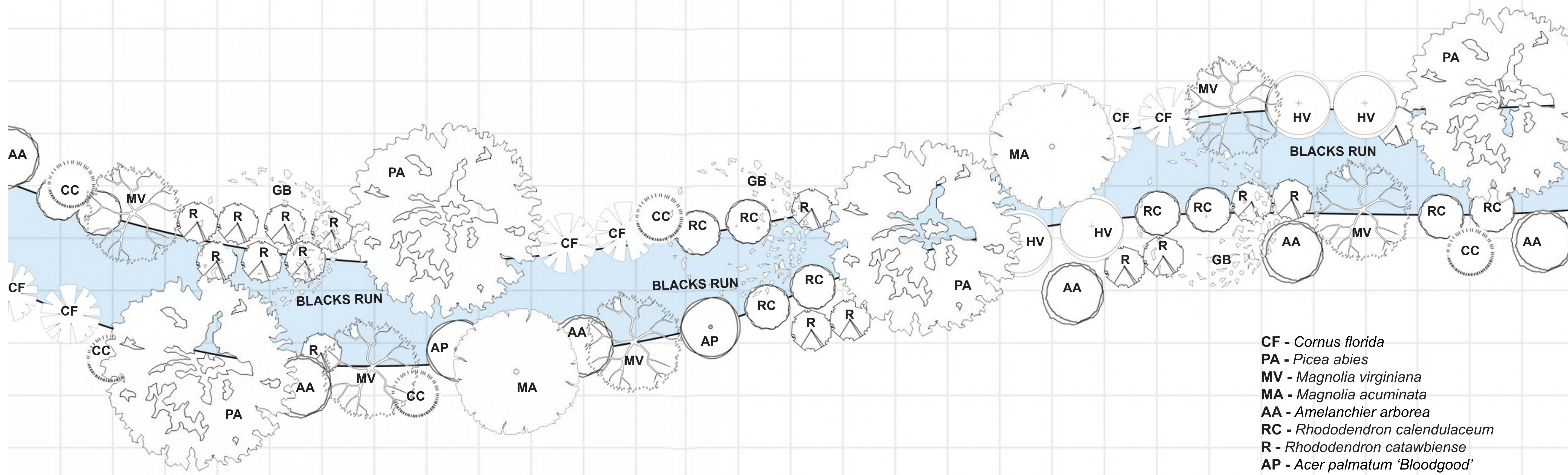


2. Elevated boardwalks and overlooks provide a car-free pedestrian network, improving connectivity while allowing access to the creek with minimal disturbance to planted edges.



3. Vegetated channels and native plantings create an arboretum-like landscape, managing stormwater while enhancing seasonal interest and habitat value.

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- CF - *Cornus florida*
- PA - *Picea abies*
- MV - *Magnolia virginiana*
- MA - *Magnolia acuminata*
- AA - *Amelanchier arborea*
- RC - *Rhododendron calendulaceum*
- R - *Rhododendron catawbiense*
- AP - *Acer palmatum* 'Bloodgood'
- HV - *Hamamelis virginiana*
- GB - *Ginkgo biloba*
- CC - *Cercis canadensis*



American Dogwood (*Cornus florida*)



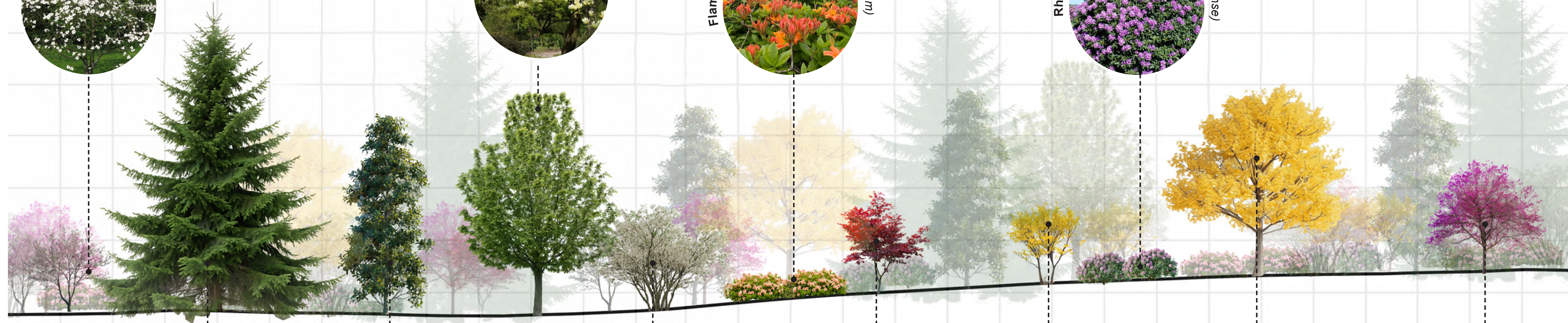
Cucumber Magnolia (*Magnolia acuminata*)



Flame Azalea (*Rhododendron calendulaceum*)



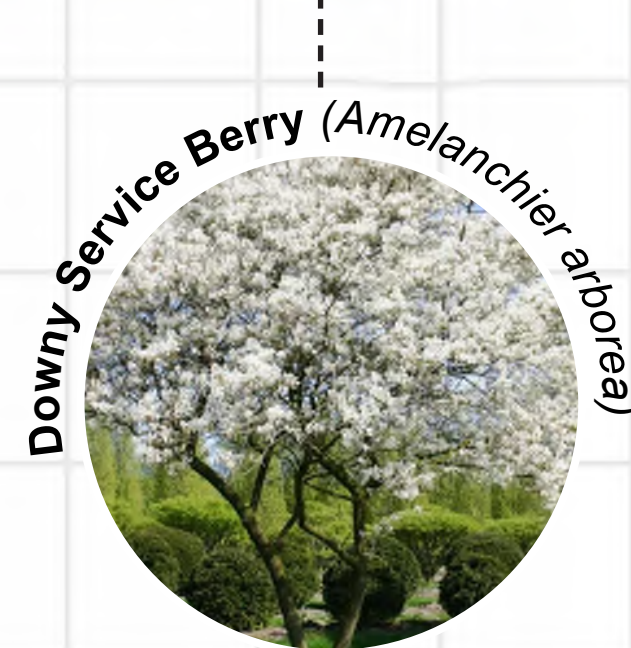
Rhododendron (*Rhododendron catawbiense*)



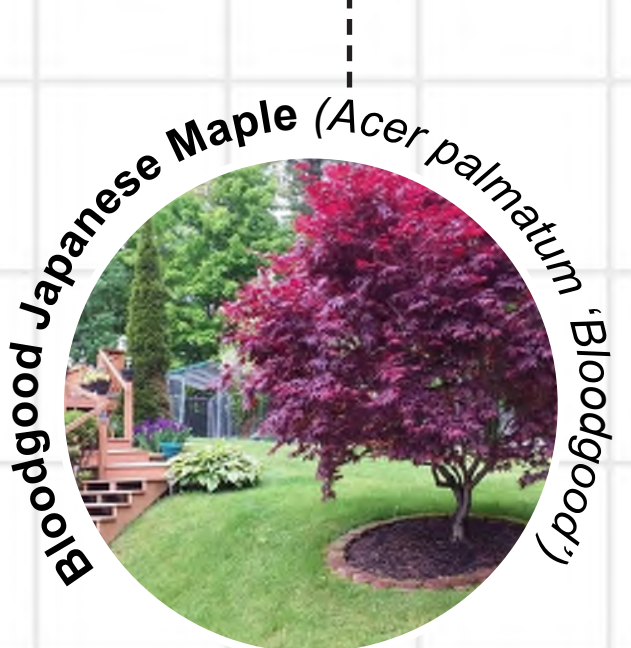
Norway Spruce (*Picea abies*)



Sweetbay Magnolia (*Magnolia virginiana*)



Downy Service Berry (*Amelanchier arborea*)



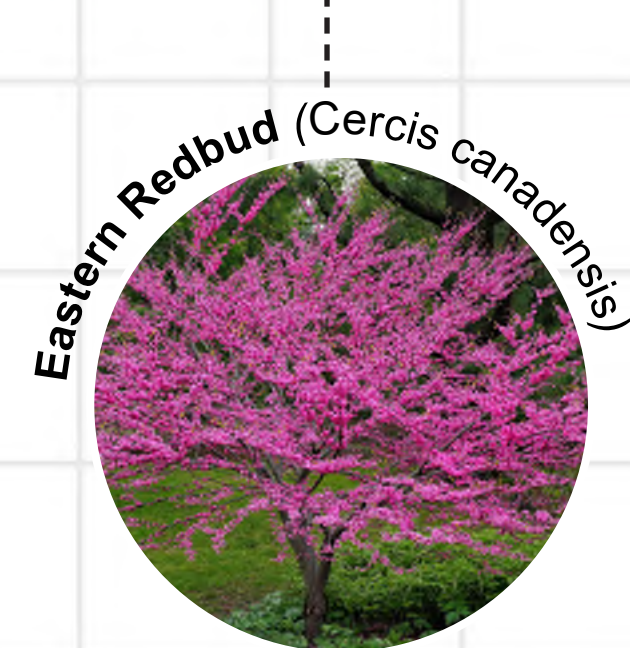
Bloodgood Japanese Maple (*Acer palmatum* 'Bloodgood')



Witch Hazel (*Hamamelis virginiana*)



'Autumn Gold' Ginkgo (*Ginkgo biloba*)



Eastern Redbud (*Cercis canadensis*)

**Harrisonburg: Conceptual Downtown Master Planting Plan
 and Focus Area Designs**

Final Design Concept: Blacks Run Trail Corridor (Phase II)
 Perspective and Precedent Images
 March 26th, 2026

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Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Master Planting Plan and Focus Area Designs
 March 26th, 2026



HARRISONBURG: CONCEPTUAL DOWNTOWN MASTER PLANTING PLAN AND FOCUS AREA DESIGNS





Downtown Master Planting Plan

May 26, 2026

Background



- City Plans
 - Downtown Streetscape Plan
 - Pollinator Management Plan
 - Urban Forestry Management Plan
- Project Funding
 - Virginia Department of Forestry Urban & Community Forestry Grant
 - Virginia Tech Community Design Assistance Center (CDAC)
- Desire for Plan to create an updated and cohesive appearance

Project Areas & Goals



FOCUS AREAS



ENTRY GATEWAYS
Downtown Gateway – North & South Statues



DOWNTOWN INTERSECTION
Main Street Intersections



DOWNTOWN STREETS
Mason St., Medians, Water St., Main St., & Liberty St.



COURT HOUSE SQUARE
Court Sq. West & South – Tree wells & Trees



LANDMARK BUILDINGS
Hardisty-Higgins House Visitor Center
Public Safety Building
City Hall



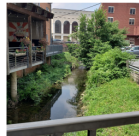
CITY PARKS
Liberty Park
Denton park
Farmers Market



PARKING FACILITIES
Liberty St. & Elizabeth St. Lot,
Municipal Parking Lot, Water St. & Mason St. Parking Deck



CITY BEDS & PLANTERS
Liberty St. Bed



CITY TRAILS
Nature Trail
Art/Mural Trail

LANDSCAPE GOALS

CREATE A WELCOMING PEDESTRIAN EXPERIENCE

Shaded, well-designed streets make walking comfortable, safe, and enjoyable year-round.

STRENGTHEN NEIGHBORHOOD CONNECTIONS

Green spaces and street trees foster pride and a sense of ownership among residents and local businesses.

ATTRACT VISITORS AND SUPPORT LOCAL ECONOMY

Lively, green streetscapes encourage people to stay longer, explore shops, and attend downtown events.

DEFINE DOWNTOWN AS A DESTINATION

Distinctive plantings, art, and design features give Harrisonburg its own identity — a place people come to experience, not just pass through.

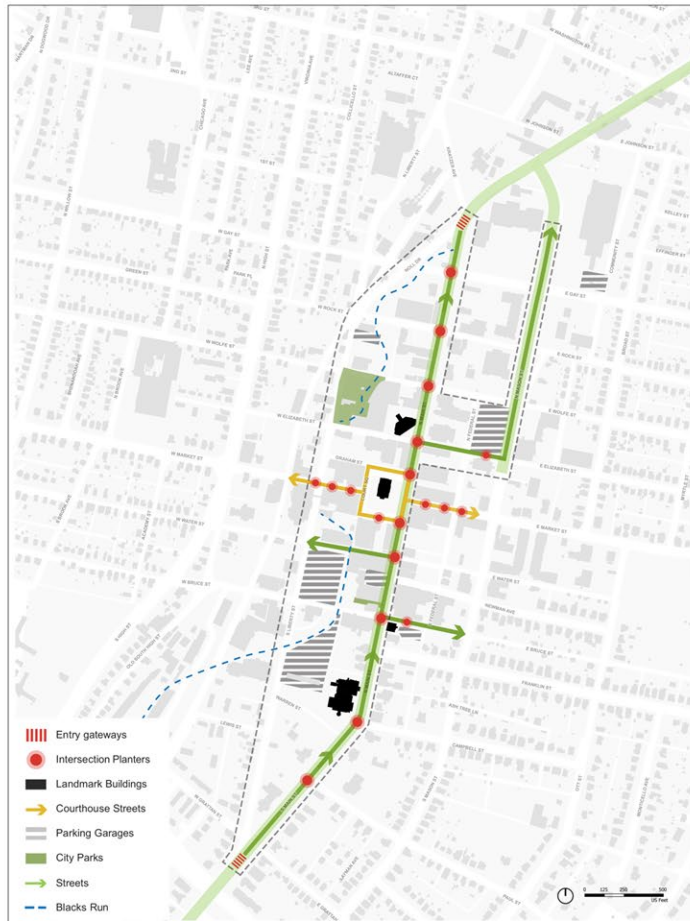


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Harrisonburg: Conceptual Downtown Master Planning Plan and Focus Area Designs

Site Inventory and Analysis
Focus Areas and Goals
March 28th, 2026

Lean Plan



- ENTRY GATEWAYS**
- GREEN CORRIDORS**
MAIN STREET
MASON STREET
WATER STREET
- INTERSECTION PLANTERS**
- COURTHOUSE SQUARE**
- PARKS & OPEN SPACES**
LIBERTY PARK
DENTON PARK
- LANDMARK ANCHORS**
PUBLIC SAFETY BUILDING
HARDESTY-HIGGINS HOUSE VISITOR CENTER
CITY HALL
- PUBLIC PARKING FACILITIES**
PARKING GARAGES
PARKING LOTS

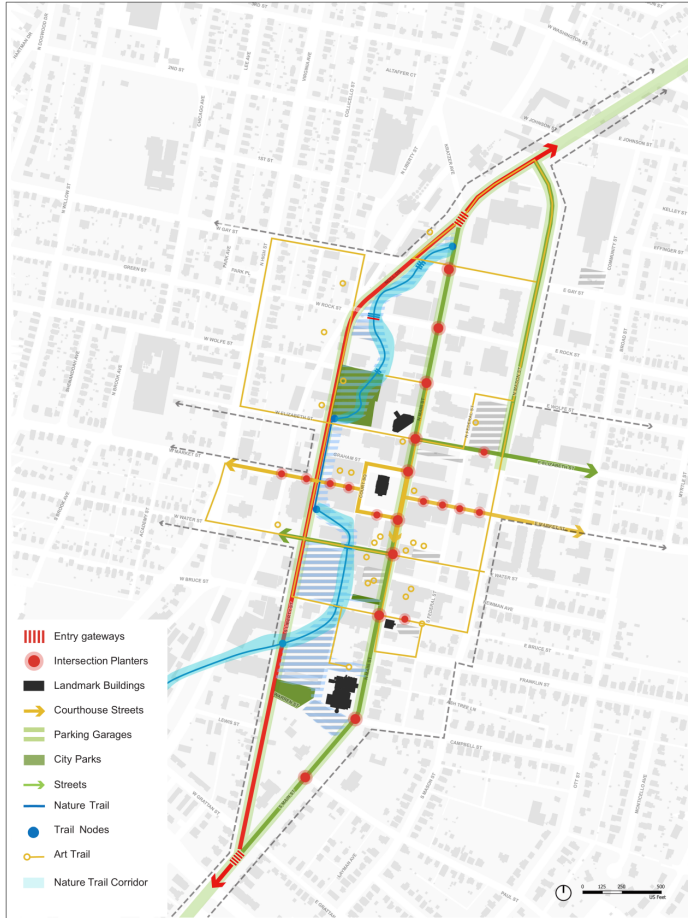


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Harrisonburg: Conceptual Downtown Master Planting Plan
and Focus Area Designs

Final Design: Downtown Master Plan - Phase I
Scope and Boundary
March 26th, 2026

Dream Plan



URBAN STREET CORRIDORS
 MAIN ST & LIBERTY ST - TREE BUMPOUTS
 MAIN ST - ENTERING DOWNTOWN

GREEN CORRIDOR NETWORK
 LIBERTY PARK: THE WOODLAND TRAIL
 DENTON PARK: AN ARBORETUM EXTENSION
 DAYLIGHTING BLACKS RUN
 FARMERS MARKET & LOVE PARK

CITY CANVAS
 COURTHOUSE SQUARE: EVENTS & FESTIVALS
 CAR GARAGES: SCULPTURAL PLACEMAKING
 EXISTING MURAL CORRIDOR: GALLERY GARDENS

PARKING LANDSCAPES
 MUNICIPAL PARKING LOT: REIMAGINING CAR PARKS

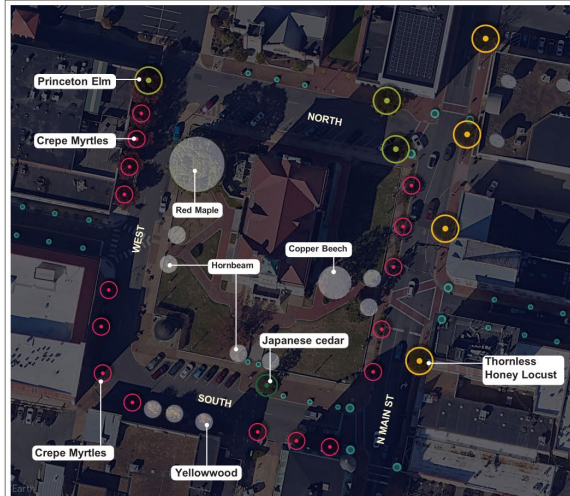


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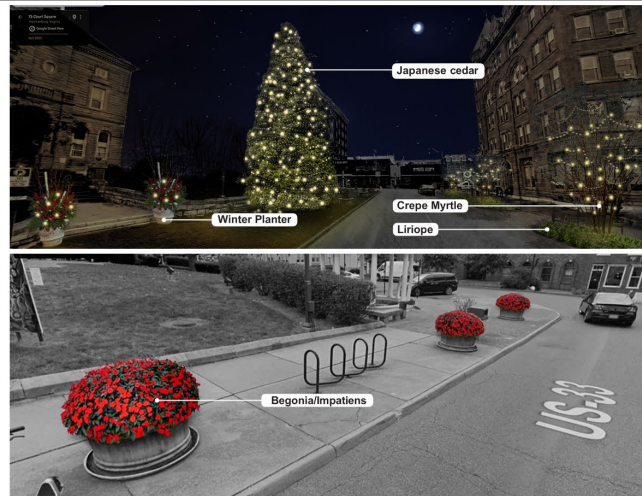
Harrisonburg: Conceptual Downtown Master Planning Plan and Focus Area Designs

Final Design: Downtown Master Plan - Phase II Scope and Boundary March 26th, 2026

Court Square Concept Plan



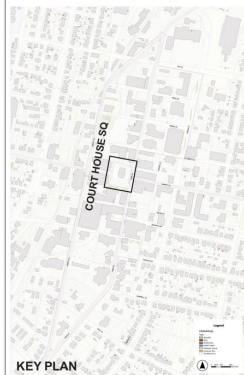
COURTHOUSE PLANTING PLAN: New trees strategically placed among existing Courthouse trees to provide shade and seasonal interest, enhance pedestrian comfort, and to frame the historic square.



PERSPECTIVE: Night view of the south Courthouse entrance (top) and planting existing classical planters (bottom), strategically placed to accentuate the square and highlight it as the main focal point.

VT
COLLEGE OF ARCHITECTURE, ARTS, AND DESIGN
COMMUNITY DESIGN ASSISTANCE CENTER
VIRGINIA TECH

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Japanese-cedar (*Cryptomeria japonica* 'Yoshino')



Crepe Myrtle (*Lagerstroemia indica* 'Pink Velor')



Variegated Liriope (*Liriope spicata*)



Big Red Begonia (*Begonia × benariensis* 'Big Red')



REFERENCE IMAGE: Winter Planter (Urban Vase 31)



REFERENCE IMAGE: Court House Planter

NOTES:
To maintain the health and appearance of crepe myrtle, prune in late winter before spring growth starts. Train as trees by removing lower branches to establish a clear framework and open canopy. To stimulate a second summer bloom, prune old flower heads off as soon as petals start dropping. Begin training all young street trees the year after planting and continue through the next five years. Maintain required passage for vehicles. To maintain the health and appearance of Liriope, cut the foliage back in late winter or early spring before new growth appears to encourage a supply of fresh growth.

NOTES:
Water the soil, not the plants, and establish a pattern of watering. Remove spent blooms to encourage new flowers. Do not fertilize in fall and winter. Use a thin layer of mulch before planting to retain moisture and protect plants.
Routine Care for Large Planters of Annuals: Use premium potting mix. Establish a pattern of watering. Remove spent blooms to encourage new growth and maintain the plants' appearance. Apply a balanced fertilizer monthly during the growing season. Use a thin layer of mulch before planting to retain moisture and suppress weeds. Trim back leggy plants in midsummer to encourage new growth.

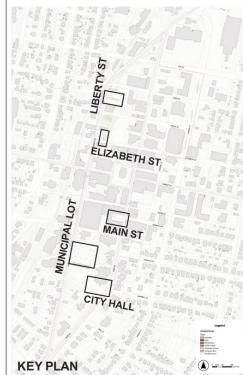
Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Court House Square (Phase I) Plan, Perspectives, and Planting Palette
March 26th, 2026

Parking Lot Perspective



PERSPECTIVE: Monumental shade trees and low-maintenance understory planting transform parking lots, reducing heat island effects, slow and reduce runoff and creating a more human-scaled environment.



NOTES:
 To maintain the health and appearance of liriope, cut the foliage back in late winter or early spring before new growth appears to encourage a supply of fresh growth.
 Begin training young street trees the year after planting and continue through the next three to five years depending on species. Limb trees so they maintain required passage fo



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Harrisonburg: Conceptual Downtown Master Planting Plan and Focus Area Designs

Final Design Concept: Parking Facilities (Phase I) Plan, Perspectives, and Planting Palette

March 26th, 2026

City Hall Parking Lot Concept Plan

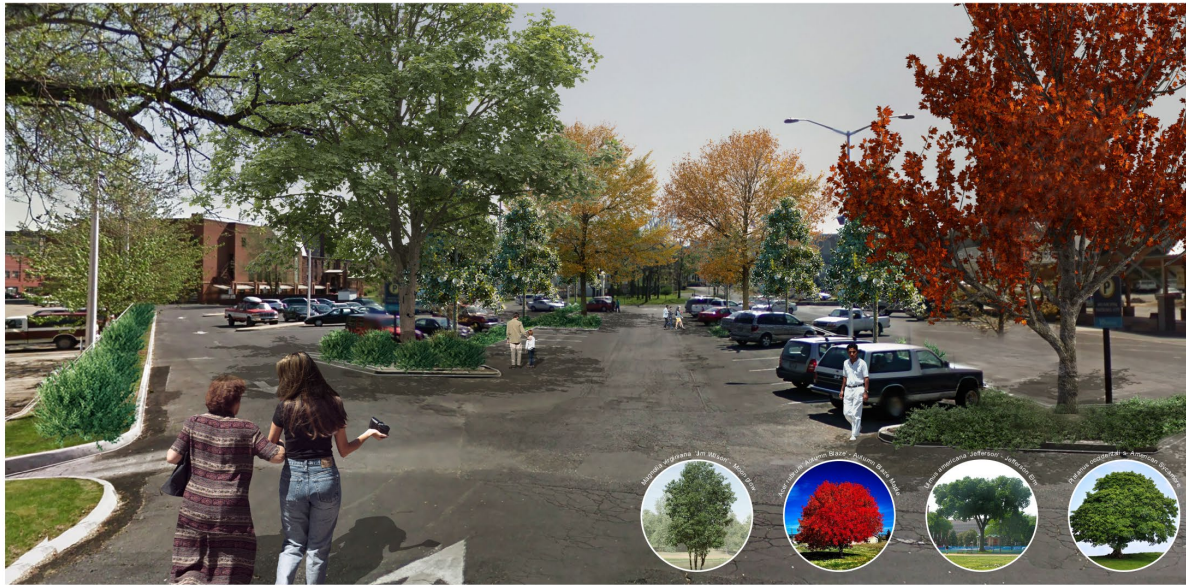


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Harrisonburg: Conceptual Downtown Master Planting Plan
and Focus Area Designs

Final Design Concept: Parking and Stormwater (Phase II)
Planting Plan
March 26th, 2026

Parking Lot Visualized



1. Terminal and interior islands help direct drivers, reduce driving speeds within parking lots and help reduce runoff.



2. Terminal and interior islands help direct drivers, break up the expanse of asphalt in parking lots and reduce negative visual impacts of large parking lots.



3. Terminal and interior islands help reduce negative visual impacts of large parking lots.



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Harrisonburg: Conceptual Downtown Master Planting Plan
and Focus Area Designs

Final Design Concept: Parking and Stormwater (Phase II)
Perspective and Precedent Images
March 26th, 2026

Next Steps



- Already Implemented
 - Downtown Evergreen Tree
 - Roses
- Release Public Survey – June 2026
- Review and Update Plan – August 2026
- Seek Council Adoption – September 2026



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ID 26-176, **Version:** 1

Subject:

Consider approving the update on the Stormwater Improvement Plan

Presented By: Keith Thomas, Sustainability and Environmental Manager

The Public Works Department seeks City Council adoption of an update to the Stormwater Improvement Plan.



May 26, 2026, City Council Meeting

Title

Stormwater Improvement Plan Update – Keith Thomas, Public Works

Summary

The Public Works Department seeks City Council adoption of an update to the Stormwater Improvement Plan.

Recommendation

Adopt updated Stormwater Improvement Plan

Fiscal Impact

N/A

Context & Analysis

Harrisonburg's Stormwater Improvement Plan (SWIP) is intended to be a long-range visionary plan that incorporates the City's stormwater needs to achieve regulatory compliance. Originally developed in 2017 to identify projects that could help the City meet Chesapeake Bay water quality targets for 2023, the City updated this plan in 2024 to chart a course toward achieving Chesapeake Bay targets for 2028 while developing potential projects and timelines for meeting local Total Maximum Daily Loads (TMDLs) to manage stormwater pollution entering Blacks Run, Smith Creek, and Cooks Creek, which are part of the Chesapeake Bay watershed. The 2024 update also included input from our community on improving the City's stormwater programs to investigate stormwater concerns beyond just water quality.

Options

1. Adopt updated plan

Attachments

1. Presentation

City of Harrisonburg
**2024 Stormwater
Improvement Plan (SWIP)**



CITY OF HARRISONBURG
**PUBLIC
WORKS**

January 21, 2025

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Acknowledgements

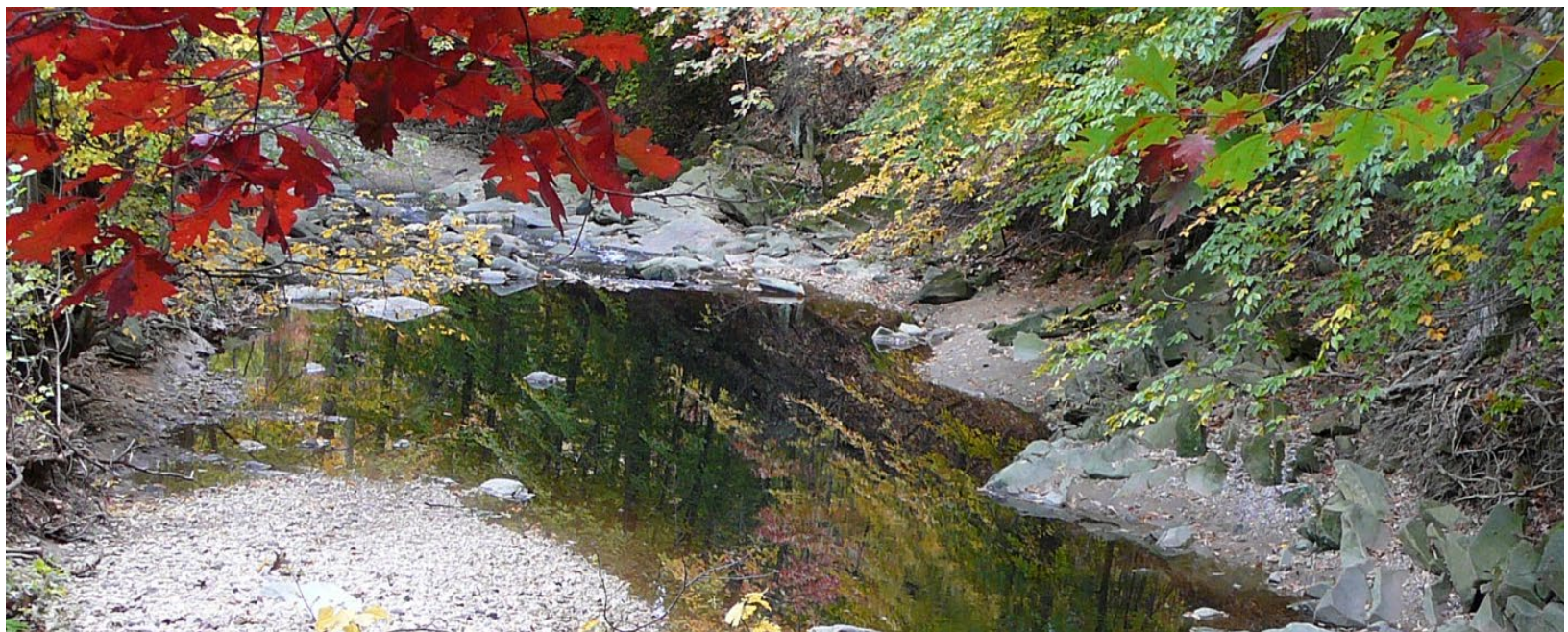
This 2024 Stormwater Improvement Plan for the City of Harrisonburg was prepared by staff of the Department of Public Works and Tetra Tech, Inc. This document updates the 2017 Stormwater Improvement Plan, which was prepared by the Department of Public Works; A. Morton Thomas & Associates, Inc.; Tetra Tech, Inc.; and the Stormwater Advisory Committee. Development of this document would not have been possible without the dedicated efforts of these participants and the involvement of citizens who participated in public meetings and offered their insight and opinions.

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Abbreviations

BMP	[Stormwater] Best Management Practice
CAST	Chesapeake Assessment Scenario Tool
DEQ	[Virginia] Department of Environmental Quality
DPW	[City of Harrisonburg] Department of Public Works
GI	Green Infrastructure
JMU	James Madison University
lb/yr	Pounds Per Year
MS4	Municipal Separate Storm Sewer System
NPDES	National Pollutant Discharge Elimination System
O&M	Operations and Maintenance
SWIP	Stormwater Improvement Plan
TMDL	Total Maximum Daily Load
TN	Total Nitrogen
TP	Total Phosphorus
TSS	Total Suspended Solids
VDOT	Virginia Department of Transportation
WLA	Waste Load Allocation

Glossary

Stormwater management can be very technical and confusing to those without a background in it. Some of the more important terms used in this stormwater improvement plan (SWIP) are defined below.

Best management practice (BMP) refers to a stormwater management practice designed to reduce pollution in stormwater runoff. Examples from this SWIP include a bioretention facility and urban stream restoration. BMPs can be new practices, meaning that they treat an area that previously had no stormwater treatment or retrofits (upgrades or enhancements) to existing BMPs that do not provide the maximum possible treatment benefits due to their age or design.

Impervious Surface refers to any hard surface that does not let rainwater pass through to the ground, resulting in water that runs off and picks up pollutants along the way. Examples are streets, rooftops, parking lots, sidewalks, and driveways. Approximately 41% of the City of Harrisonburg is covered by impervious surfaces. By contrast, lawns and yards are considered pervious surfaces; they do not create as much runoff, but they can still contribute pollutants that flow to streams, such as sediment and nutrients in fertilizers.

Municipal separate storm sewer system (MS4) is a municipally operated system of inlets, pipes, ditches, stormwater practices, and other features that collect and carry stormwater runoff to streams. The Clean Water Act regulates MS4s through permits that require communities to develop a local stormwater

program with certain minimum standards. In Virginia, MS4 permits are issued by the Virginia Department of Environmental Quality (DEQ). Harrisonburg and neighboring jurisdictions (e.g., Bridgewater, Staunton, and Waynesboro) are regulated MS4s with permits. Harrisonburg has held an MS4 permit since 2003. The MS4 permit is updated by DEQ in 5-year increments, with the last issued on November 1, 2023.

Regulated/unregulated areas are parts of the City that fall inside or outside the jurisdiction of the City’s MS4 permit. The entire city limits are not included in the MS4 permit. Only those parts that are connected to streams via inlets, pipes, and ditches (urban stormwater system) are part of the regulated area. Examples include streets, yards, rooftops, and parking lots that feed into the stormwater system. Unregulated areas are other parts of the City, such as hillsides or yards whose runoff flows over land to streams.

Pollutants are substances that degrade the water by smothering habitats, depleting oxygen, or introducing chemicals that are unhealthy for humans or aquatic life. This document is concerned primarily with three substances: **total phosphorus (TP)**, **total nitrogen (TN)**, and **total suspended solids (TSS)**. TP and TN are nutrients that can create excessive algal blooms in waterways and deprive the water of oxygen. TSS is a physical measure of sediment, silt, and other suspended particles that can interfere with water clarity, smother aquatic habitats in streams, and erode or fill stream channels so that drainage and flooding issues are exacerbated.

Total maximum daily load (TMDL) is a *pollution diet* that establishes the amount of a pollutant or substance that a water body can absorb without exceeding its water quality standard for that pollutant. It is represented as a mass per unit of time (e.g., pounds per day). TMDLs are developed for waterways that do not fulfill their intended beneficial uses (e.g., fishing, swimming, recreation) because of one or more pollutants. The pollution reduction is critical in a regulatory sense because it becomes a requirement for local and state pollution reduction efforts, including stormwater management programs such as this citywide plan.

The Chesapeake Bay TMDL includes the three pollutants: TP, TN, and TSS. The required load reduction targets are calculated for the Chesapeake Bay watershed for urban (e.g., MS4s, wastewater treatment plants, industries) areas, agriculture, natural sources, and onsite septic systems. A proportionate share of the urban load reduction is allocated to each MS4 in the Chesapeake Bay watershed. Urban load reduction refers to the amount of pollution needed to be reduced by the City of Harrisonburg for the Chesapeake Bay to meet water quality standards. These are often called a **Waste Load Allocation (WLA)** in the permit requirements. Harrisonburg’s MS4 permit requires practices and programs to reduce TP and TN loads as the City’s contribution to the overall pollutant load reduction for urban areas to the Chesapeake Bay. (TSS was removed as a requirement in the 2023 MS4 permit for the Chesapeake Bay TMDL.) Efforts to address the Chesapeake Bay TMDL will also improve local streams and waterways and provide other local benefits tied to this SWIP.

The Blacks Run, Cooks Creek, and Smith Creek TMDLs include TP and TSS. The load reductions required to meet water quality standards are calculated for Blacks Run, Cooks Creek, and Smith Creek. DEQ allocated, through their permitting authority, a proportionate share of the urban load reduction to the City. These are often called WLAs in the permit requirements. Harrisonburg’s MS4 permit requires practices and programs to reduce TP and TSS loads as the City’s contribution to the overall pollutant load reduction for urban areas.



The Blacks Run stream restoration project in the southern part of the City restored just over a mile of stream, reducing streambank erosion and restoring habitat. It helped remove approximately 2,400 pounds per year (lb/yr) of TN, 1,100 lb/yr of TP, and 123 tons/yr of TSS from the Blacks Run watershed.

Introduction

The City of Harrisonburg encompasses 17.4 square miles, with a population of approximately 53,000. Harrisonburg is home to two university campuses, James Madison University and Eastern Mennonite University, as well as numerous businesses and nonprofit organizations. Harrisonburg supports a vibrant downtown area.

The City operates a small MS4, which is “a conveyance or system of conveyances otherwise known as a municipal separate storm sewer system, including roads with drainage systems, municipal streets, catch basins, curbs, gutters, ditches, manmade channels, or storm drains:

- Owned or operated by a federal, state, city, town, county, district, association, or other public body, created by or pursuant to state law, having jurisdiction or delegated authority for erosion and sediment control and stormwater management, or a designated and approved management agency under Clean Water Act Section 208 that discharges to surface waters;
- Designed or used for collecting or conveying stormwater;
- That is not a combined sewer; and
- That is not part of a publicly owned treatment works.”

The Virginia Department of Environmental Quality (DEQ) issued the City its first MS4 *General VPDES Permit for Discharges of Stormwater from Small Municipal Separate Storm Sewer Systems* in 2003 under the National Pollutant Discharge Elimination System (NPDES) program. The MS4 Permit requires the City to develop an MS4 Program Plan as part of the iterative process to reduce pollutant loadings and to protect water quality.

The City’s MS4 permit program is managed through the Department of Public Works (DPW) and includes operating and maintaining the City’s infrastructure. The overall citywide stormwater program has many functions, including: (1) meeting all regulatory requirements; (2) managing equipment and resources; (3) developing a budget; (4) prioritizing and scheduling capital projects; (5) coordinating design, installation, inspection, and maintenance of practices; (6) engaging citizens and businesses; and (7) communicating with decision-makers and stakeholders.

Figure 1 illustrates both regulated and unregulated areas in the City. James Madison University (JMU) and the Virginia Department of Transportation (VDOT) hold their own MS4 permits, so their land area is not part of the City’s MS4; the land owned by Rockingham County is also not included in the City’s MS4 permit. The City’s priority is to focus on implementing BMP projects in the regulated areas, as that is where pollution reduction efforts will contribute most directly to meeting the permit requirements.

As part of the Special Conditions for the Chesapeake Bay TMDL, the MS4 permit requires that, by 2028, the City of Harrisonburg addresses the excess phosphorus, nitrogen, and sediment that leave the City’s watersheds and eventually reach the Chesapeake Bay. In addition, the City is required to meet wasteload allocations for several local TMDLs. A TMDL is a *pollution diet* that establishes the amount of a pollutant that a water body can absorb without exceeding the water quality standard for that pollutant; a TMDL is represented as a mass per unit of time (e.g., pounds per day). The mass per unit of time is called the load. For instance, a TMDL could stipulate that a maximum load of 1,000 pounds of sediment per day could be discharged into a stream before the stream experiences any negative effects.

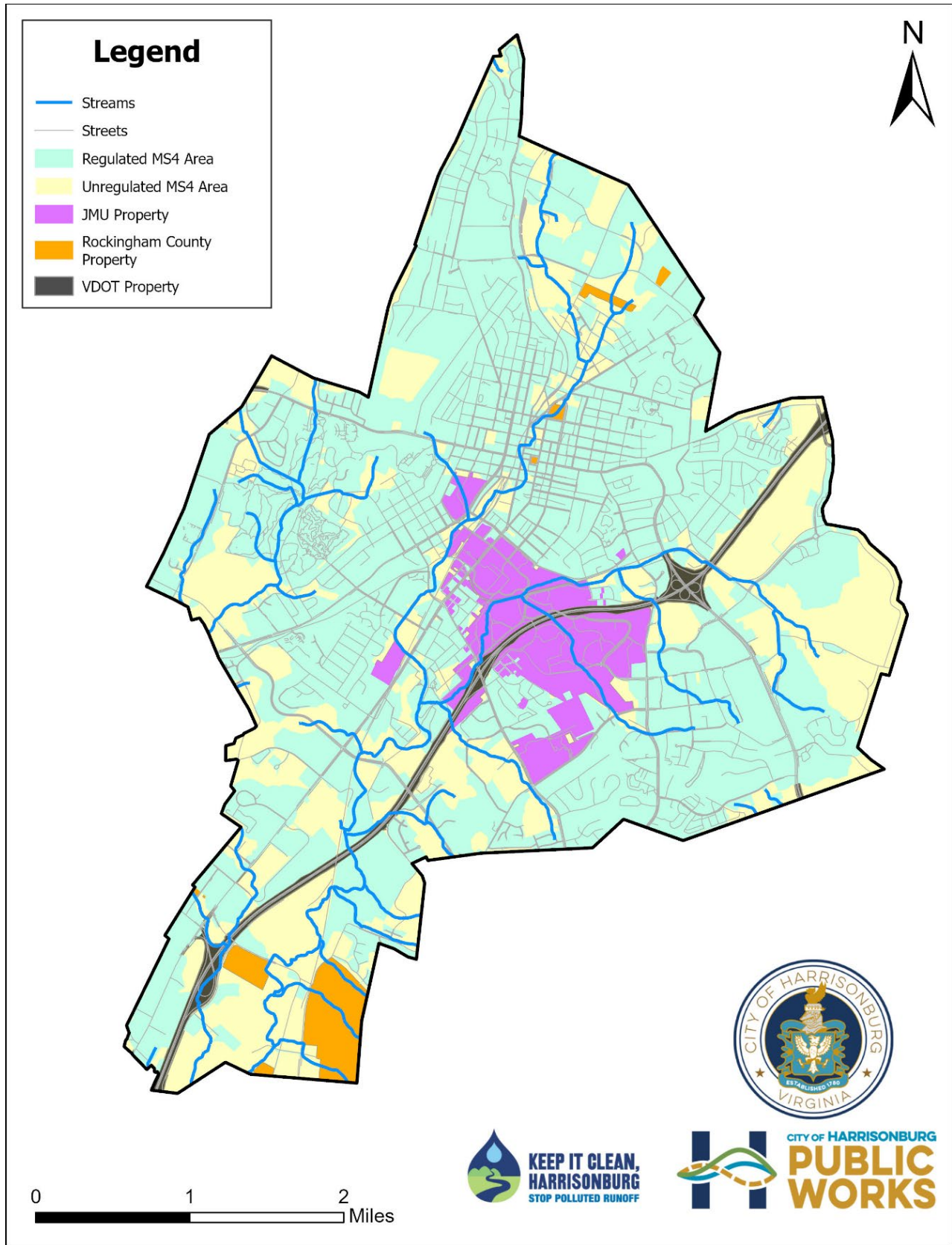


Figure 1. Harrisonburg’s regulated MS4 areas.

The City developed a SWIP in 2017 to address nutrients and sediment reductions required by the Chesapeake Bay TMDL. It was intended to be a long-range visionary plan that incorporates the City’s stormwater needs to achieve regulatory compliance, mitigate areas of drainage concern, and conduct a public input campaign. It was important that the plan be developed in such a way that the City’s stormwater needs were identified and an achievable plan for implementation was provided.

The City initiated this updated SWIP to improve water quality in local waterways and to chart a strategy for the City to comply with state and federal regulations that require the City to manage stormwater pollution entering Blacks Run, Smith Creek, and Cooks Creek, which are part of the Chesapeake Bay watershed. The main objective of the updated SWIP is to identify stormwater best management practices (BMPs) to address the Chesapeake Bay and local TMDLs by reviewing the BMPs included in the 2017 SWIP and identifying new BMPs that could be implemented to help meet local TMDLs. Before the SWIP update, the City had calculated the remaining load reductions needed to meet the Chesapeake Bay and local nutrient and sediment TMDLs (**Table 1**). This information accounts for the BMPs that have been implemented since the TMDLs were developed, as well as the BMPs that are currently being designed, such as the wet pond along Virginia Avenue and Acorn Drive.

Table 1. Remaining load reductions needed to meet TMDLs.

TMDL Watershed	TN (lb/yr)	TP (lb/yr)	TSS (lb/yr)
Chesapeake Bay	2,600	n/a	436,000
Smith Creek	n/a	n/a	5,500
Blacks Run	n/a	n/a	1,374,000
Cooks Creek	n/a	3,200	216,000

Note: lb/yr = pounds per year, TN = total nitrogen, TP = total phosphorus, TSS = total suspended solids

This SWIP is organized in the following sections to guide the reader through its development process:

- **Potential Options for Load Reductions** – Presents a summary of nutrient and sediment load reduction options, including new structural BMPs, existing BMP retrofits, street sweeping, tree planting, and nutrient credits.
- **Identifying BMP Opportunities** – Discusses the feasibility review of BMPs identified in the 2017 SWIP and identifies additional BMP opportunities for meeting local TMDL targets.
- **Prioritized List of BMPs and Timelines to Meet TMDL Targets** – Details how BMPs were ranked and prioritized using cost and cost-effectiveness; site and schedule constraints; water quantity; and other factors when determining how to meet the Chesapeake Bay and local TMDL implementation timelines.
- **Public Engagement** – Describes the public engagement campaign conducted to collect community input regarding water quantity concerns and climate change impact.
- **Water Quantity Strategies** – Identifies water quality BMPs that provide the ancillary benefit of water quantity reduction to potentially help address flooding and drainage concerns.
- **BMPs for Residential Properties** – Identifies BMPs that homeowners can implement on residential properties.

- **Attachment A: High Priority Concept Plans** – Contains concept design plans for the highest ranked BMP opportunities to support future implementation needed to meet the Chesapeake Bay and local TMDLs.

Potential Options for Load Reductions

Multiple options with differing degrees of cost-effectiveness and ease of implementation are available for addressing nutrient and sediment reductions. This section describes the most likely options for the City to use when working to meet TMDL load reduction targets.

Load Reduction Approaches

New Structural BMPs

Structural BMPs can be grouped into two categories: runoff reduction practices and stormwater treatment practices. Runoff reduction practices, which have a higher level of pollutant removal, reduce pollutants through infiltration and adsorption by soil (e.g., infiltration practices and permeable pavement). Stormwater treatment practices reduce pollutants through filtration or settling (e.g., sand filters and wet ponds). In the *Recommendations of the Expert Panel to Define Removal Rates for New State Stormwater Performance Standards* (Comstock et al. 2015), the Chesapeake Bay Program Expert Panel classifies BMPs as runoff reduction or stormwater treatment, as shown in **Table 2**.

Table 2. Lists of BMP types classified as runoff reduction and stormwater treatment.

Runoff Reduction Practices	Stormwater Treatment Practices
Bioretention ^a	Constructed wetlands
Dry channel regenerative stormwater conveyance	Filtering practices
Dry swale	Proprietary practices/manufactured treatment devices
Expanded tree pits ^a	Wet ponds
Grass swales (e.g., bioswale, vegetated channel) ^a	Wet swales
Infiltration practices ^a	--
Permeable pavement ^a	--
Rainwater harvesting ^a	--
Riparian buffers ^a	--
Reforestation/tree planting ^a	--
Rooftop disconnection	--
Sheet flow to filter/open space	--

Note:

^a Considered a green infrastructure BMP

Green Infrastructure

There are many ways that organizations define green infrastructure (GI) BMPs and what practices they include. For this SWIP, the City considers GI to be BMPs that rely on natural processes, such as filtration, infiltration, and evapotranspiration, to treat stormwater close to its source, such as driveways, parking

lots, and roads using specialized soil, native plants, and stones. These BMPs also provide added environmental, social, and economic benefits, such as improved aesthetics, increased property value, erosion control, groundwater recharge, reduced urban heat island effects, flood control, and enhanced habitat for wildlife and pollinators. Many of the practices in **Table 2** are considered GI BMPs.

Innovative BMPs

Stormwater BMP technology is evolving, with new or improved technologies continuously being developed. Not all new technologies are approved by the Chesapeake Bay Program and DEQ for use in meeting TMDL targets. There is also a time lag between the technologies being developed and their approval for use. Some of the innovative BMPs in this subsection might be applicable to the City in the future.

Submerged Gravel Wetland

A submerged gravel wetland is a stormwater BMP that uses wetland plants and soil to remove pollutants from the runoff. This BMP has gravel under the water surface to support wetland vegetation. The gravel provides space for the roots of wetland plants, which remove nutrients from the water. Submerged gravel wetlands can treat a medium-sized drainage area, which is advantageous because most GI practices treat small drainage areas, and wet ponds and wetlands only treat large drainage areas. Submerged gravel wetlands are currently used in neighboring states, but DEQ has not yet approved them for use in meeting TMDLs.

Soil Media/Additives

Research has shown that certain media additives, such as biochar and woodchips, can enhance the nitrogen and phosphorus removal in BMPs. Biochar, a type of carbon-rich charcoal, is created from burning organic material under very low oxygen conditions. As stormwater flows through it, biochar can retain nutrients (e.g., nitrogen, phosphorus), heavy metals, and other contaminants. Biochar will also improve water retention in the BMPs and increase the diversity of microorganisms in the soils, making the soils more fertile for vegetation. Woodchips, another carbon source, can help break down nitrogen in the soil. Woodchips are effective when included in a woodchip bioreactor BMP, described below.

Woodchip Bioreactor

Woodchip bioreactors use wood chips contained in saturated soils to remove nitrogen from runoff as it infiltrates through the system. Woodchip bioreactors can be incorporated into other BMPs, such as bioretention systems. This technology has not been approved by DEQ for use in meeting TMDLs. In 2019, the City completed the Purcell Park woodchip bioreactor, which use woodchips from local ash trees damaged by the emerald ash borer. The bioreactor filter water entering Purcell Park Pond from Sieberts Creek. The bioreactor are large pits in the ground filled with woodchips. Water is diverted through the system, and the woodchips serve as a media on which bacteria grow. The bacteria convert nitrate-nitrogen in the water to harmless nitrogen gas. The project was completed in partnership with the nonprofit Ridge to Reefs.¹ The project was entirely funded through a National Fish and Wildlife Foundation grant.

¹ <https://www.ridgetoreefs.org/shenandoah-valley-bioreactors-project-home-page>

Real-time Control Technology

Stormwater real-time control technology uses sensors to monitor and adjust the amount of runoff stored in BMPs, such as wet ponds, using current weather conditions and stream flow information. These adjustments include changes in pump rates, the amount of water allowed to flow out of the pond, and diversions to a different area. The technology allows water to be retained in ponds and then released through a controlled valve to generate water quality improvements. It can also reduce streambank erosion from a smaller, constant flow of water from the pond. Real-time control technology can improve water quality by increasing residence time, which increases the BMP effectiveness through sediment settling or denitrification of runoff. The technology can also increase the amount of runoff volume retained on-site, potentially reducing the frequency and intensity of downstream flooding. DEQ has approved some real-time control technologies.

Retrofits to Existing BMPs

Retrofits are upgrades to existing BMPs. These retrofits increase the amount of water quality and stormwater volume treatment efficiency by improving existing structures or converting them into different BMP types. Most of the existing BMPs are detention ponds (i.e., dry ponds) that were installed to control water volume but provide little or no water quality benefit. The retrofits add water quality benefits without decreasing the water quantity control. Retrofits can often be cost-effective because they are located on land that is already owned by the City or within easements.

Urban Stream Restoration and Outfall Stabilization

Streams are affected by urban stormwater runoff through bank and channel erosion, stream health degradation, and loss of natural habitat. Multiple restoration techniques can be used to mimic the natural state of the stream, provide stability to the channel bed and banks, and improve stream health and habitat in nontidal areas. Various in-stream structures can help restore the main channel by providing stable flow direction and energy dissipation, as well as creating pools where natural habitats can develop. In addition to in-stream structures, the increase in riparian vegetation can help stabilize streambanks, further reducing in-stream erosion in high-velocity areas.

Stormwater conveyance systems end at outfall structures that typically discharge to streams. The outfall structures are often the initial source of stream erosion because they deliver increased runoff from impervious areas. As the stream channel erodes, it often undercuts the outfall structure, resulting in outlet failure. Outfall stabilization typically involves repairing localized areas of erosion below a storm drainpipe and addressing structural and functional problems associated with exposed infrastructure.

Urban Tree Canopy

Urban tree canopy expansion is intended for plantings on developed land and is not intended to result in forest-like conditions. Examples would be trees along a street or adjacent to buildings. The Green Infrastructure Center (2017) wrote *The City of Harrisonburg: Utilizing Urban Tree Canopy for Stormwater Management*, which evaluates the City's urban tree canopy and how to best incorporate the City's urban forests into stormwater management goals. Currently, the SWIP does not take tree planting into consideration as a pollution-reduction strategy. Any credits for this practice will be in addition to the credits in the SWIP and can be accounted for on a per tree basis, given the City's documentation of this practice.

Street Sweeping and Catch Basin Cleaning

The City has programs for street sweeping and catch basin cleaning, both of which qualify as contributing to pollutant load reductions. Nutrient and sediment load reductions from street sweeping are based on the type of street sweeping technology and the frequency of sweeping. Street sweeping has benefits beyond removing debris and sediment from entering storm drains. These benefits include improving air quality by reducing dust and other fine particles from the air we breathe; removing glass and nails from the roadside, which could be hazardous to pedestrians and vehicles; and decreasing bacteria build-up on streets. Removing this debris before it enters the storm drains can also prevent blockages in the storm drains, which could lead to localized flooding during rain and snowmelt events.



Street sweeping is part of the City’s ongoing pollution reduction practices. This practice helps reduce sediment and debris from entering the MS4 and the City’s streams.

The City cleans every City-maintained catch basin annually. This is done by using a vacuum truck to remove accumulated debris in the catch basin. Like street sweeping, this helps prevent debris and sediment from entering the stormwater conveyance system and eventually reaching streams.

Purchasing Nutrient Credits

Meeting all TMDL goals requires a significant financial investment by the City. Elected officials and City departments have an obligation to ensure that investments reflect cost-effective options and that the City and its citizens will get their money’s worth from the selected projects and programs.

To meet the Chesapeake Bay TMDL by 2028, the City will implement off-site compliance, meaning that some pollutant-reduction credits are obtained from outside of the jurisdictional limits of Harrisonburg through various credit purchases or contractual arrangements with private pollutant banks or other entities that hold a pollution discharge permit. The MS4 permit authorizes this type of *trading* arrangement. Two types of off-site compliance strategies need to be considered:

- **Annual Credits:** Annual credits must be purchased every year. This arrangement can be executed through a memorandum of understanding (MOU) or contract with the organization that also has a pollution control permit from the state of Virginia when it has excess credits that it can make available because pollution reductions are beyond currently permitted limits. For the City, the organization most likely to provide credits is the Harrisonburg Rockingham Regional Sewer Authority (HRRSA). There is some risk that annual credits may not be available in future years, so the strategy can be viewed as a “stop-gap” or temporary measure to allow time for local BMPs to be designed and constructed. Given that, annual credits can be very cost-effective and should be included in the overall strategy for compliance.

- **Perpetual Credits:** As compared to annual credits, perpetual credits are a one-time purchase. Virginia has an established *Virginia Nutrient Bank* whereby certain property owners and businesses can establish nutrient banks that generate credits for purchase. The pollution reduction actions that generate these credits are usually on agricultural or larger tracts of land through converting pasture to permanent riparian buffers or restoring degraded streams. These credits are regulated and certified by DEQ. DEQ also requires that credit purchasers be within the same or an adjacent watershed as the one in which the credits are generated. For Harrisonburg, this means the Shenandoah/Potomac watershed. While perpetual credits do not have the same level of risk as annual credits, they are more expensive. At some point, if these credits are more cost-effective than what can be achieved through local BMP implementation, then they become a viable option.

Selected Approaches

The City will use a combination of new structural BMPs, existing BMP retrofits, and stream restoration to meet the local nutrient and sediment TMDL targets. As part of the SWIP development process, the City also reviewed opportunities for outfall stabilization but did not identify good candidates; the City will continue to evaluate outfalls for future opportunities.

The City will continue to perform street sweeping and catch basin cleaning. These practices will be used as part of the strategy for meeting the Chesapeake Bay TMDL targets. The overall strategy also includes new structural BMPs and existing BMP retrofits. In the past, the City conducted the Blacks Run stream restoration project, which is being used to meeting Chesapeake Bay and local TMDL targets. To help meet the aggressive 2028 date for meeting Chesapeake Bay TMDL targets, the City will also purchase nutrient credits and conduct tree planting, as described in the **Chesapeake Bay TMDL BMPs and Timeline** subsection.

Identifying BMP Opportunities

Review of Feasibility of Select 2017 SWIP BMP Opportunities

The City reviewed the feasibility of 33 stormwater BMPs previously identified in the 2017 SWIP to address the Chesapeake Bay TMDL. These 33 BMPs included 17 vegetated filter strips, 8 stream restoration projects, 5 wet ponds, and 3 bioretention systems.

BMP Load Reduction Calculations

The *Guidance Memo No. 20-2003 – Chesapeake Bay TMDL Special Condition Guidance* (VDEQ 2021) allows municipalities to choose one of three methods for calculating the load reductions achieved from BMPs. This SWIP uses the retrofit performance curves

provided by the Chesapeake Bay Program as the default load reduction calculation method, with stream restoration reductions calculated from the average reductions from the City’s recent stream restoration

Goal 1: Review feasibility of 2017 SWIP BMP opportunities.

Objective 1.1: Review the revised list of BMPs from the 2017 SWIP to determine their feasibility of keeping them in the City’s restoration strategies.

Objective 1.2: Update the costs to design, acquire easements, and construct each BMP.

Objective 1.3: Determine the load reduction gap remaining for the three local TMDLs (Smith Creek, Cooks Creek, and Blacks Run) and the Chesapeake Bay TMDL.

projects. The following two special circumstances must be taken into account when calculating load reductions:

- *BMP Treatment Trains*: Treatment trains occur when the treated runoff (discharge) from one BMP flows into a second BMP for additional treatment. The pollutant load going into the downstream BMP needs to be reduced before its load reduction is calculated to account for the benefits of the upstream BMP.
- *Unregulated Areas*: The City must meet baseline loads for BMPs installed outside the MS4 regulated area (**Figure 1**), which is defined by areas where stormwater flows to or through the City’s stormwater conveyance systems. This plan mainly includes BMPs that treat regulated areas because the City will receive more load reduction credit than BMPs that treat unregulated areas.

Cost Development

Knowing the exact cost of each BMP would require design plans for each. Therefore, at the SWIP development stage, the City developed unit costs (i.e., cost per specified area) for each BMP type.

The main source of cost information was obtained from the Chesapeake Assessment Scenario Tool (CAST), which was developed for the Chesapeake Bay Program (CBP 2017). CAST has unit cost information (dollars per impervious acre) for construction and operation and maintenance (O&M) in 2018 dollars for the Commonwealth of Virginia. These were adjusted for inflation to 2024 dollars using annual consumer price index values. The design cost was estimated to be 20% of the total project cost. Because some BMPs are on private land, the cost of land easement acquisition was added to BMPs not on City property or rights-of-way. Using recent land acquisition data, the City estimated that easements are typically around \$3.70/square foot of needed easement. The stream restoration unit costs were estimated using actual stream restoration construction data and adjusted for inflation. The stream restoration O&M costs were the average listed for Virginia in CAST.

The unit costs are the average cost of installing a given BMP. Site conditions (e.g., utilities) can increase the cost of individual BMPs. To account for this, additional costs were estimated for when the following types of site modifications would be needed:

- Trench drain/flow diversion
- Underdrain
- Curb cuts
- Move utilities (e.g., underground electrical wires)
- Move stormwater structure
- Utility crossing (stream restoration only)
- Excessive pavement or vegetation removal

BMP Site Feasibility Assessment

The 33 BMPs were reviewed for conflicts with utilities such as overhead electric lines, underground utilities (e.g., cable, internet), drinking water mains, sanitary sewer lines, and light/utility poles. Recent aerial imagery was reviewed to determine if any major land development or other significant changes have occurred in the BMP areas since the initial review in 2017.

Through this process, eight proposed BMPs were flagged for potential feasibility concerns. The primary concerns with the BMPs were conflicts with utility lines (especially sanitary sewer lines), a lack of nearby stormwater infrastructure, and difficult access for construction and maintenance.

The review of the BMPs from the 2017 SWIP resulted in the potential for seven stream restorations, 15 new BMPs, and two BMP retrofits. **Table 3** presents the remaining loads after the BMP feasibility assessment. The local TMDLs cannot be met by the BMPs in the feasibility analysis. The Smith Creek and Blacks Run (including Sieberts Creek) TMDL are only for total suspended solids (TSS), while the Cooks Creek TMDL is for TSS and total phosphorus (TP). The feasibility analysis did not include any BMPs for Smith Creek; therefore, its local TMDL goals are not met. The Blacks Run TMDL is only half met for TSS if all feasible BMPs are implemented. Significant reductions will still be needed for TP in the Cooks Creek watershed, even with all projects implemented.

Table 3. Remaining reductions needed, compared by cost and site feasibility.

TMDL Watershed	TN (lb/yr)	TP (lb/yr)	TSS (lb/yr)
Remaining to meet TMDL			
Chesapeake Bay	2,600	n/a	436,000
Smith Creek	n/a	n/a	5,500
Blacks Run	n/a	n/a	1,221,983
Cooks Creek	n/a	3,200	216,000
Remaining to meet TMDL (Feasible BMPs from 2017)			
Chesapeake Bay	0	n/a	0
Smith Creek	n/a	n/a	5,500
Blacks Run	n/a	n/a	633,193
Cooks Creek	n/a	2,895	81,185

Notes: lb/yr = pounds per year, TN = total nitrogen, TP = total phosphorus, TSS = total suspended solids

Identify Additional BMP Opportunities

As shown above, additional BMPs are needed to meet local TMDL targets. An assessment was conducted to identify new BMP opportunities. The following types of features were assessed as potential BMP locations:

- Large areas of untreated impervious area in the MS4 area.
- City, institutional (e.g., schools, churches), or vacant properties.
- Areas at or upstream of known drainage issues.
- Existing stormwater detention basins for potential upgrade.
- Stormwater ditches.

Each BMP was reviewed for conflicts with utilities such as overhead electric lines, underground utilities (i.e., cable, internet), water mains, sewer lines, and light/utility poles. The desktop assessment to identify the remaining BMPs needed to meet the Chesapeake Bay and local nutrient and sediment TMDLs identified the opportunities for 4 stream restoration projects, 20 wet ponds/wetlands, 48 bioretention systems, and 32 other BMP types. **Figure 2** shows the locations of potential BMP locations in this SWIP.

Goal 2: Desktop assessment to identify the additional BMPs to meet TMDL targets.

Objective 2.1: Identify sufficient BMP opportunities creditable under the VDEQ *Guidance Memo No. 20-2003 - Chesapeake Bay TMDL Special Condition Guidance* to meet and exceed the load reductions targets from the Chesapeake Bay and local TMDLs.

Objective 2.2: Evaluate large areas of impervious surfaces that are not currently treated by BMPs for potential opportunities, as well as look at reported drainage issues to guide potential implementation planning.

Objective 2.3: Calculate the costs to design, acquire easements, and construct each BMP.

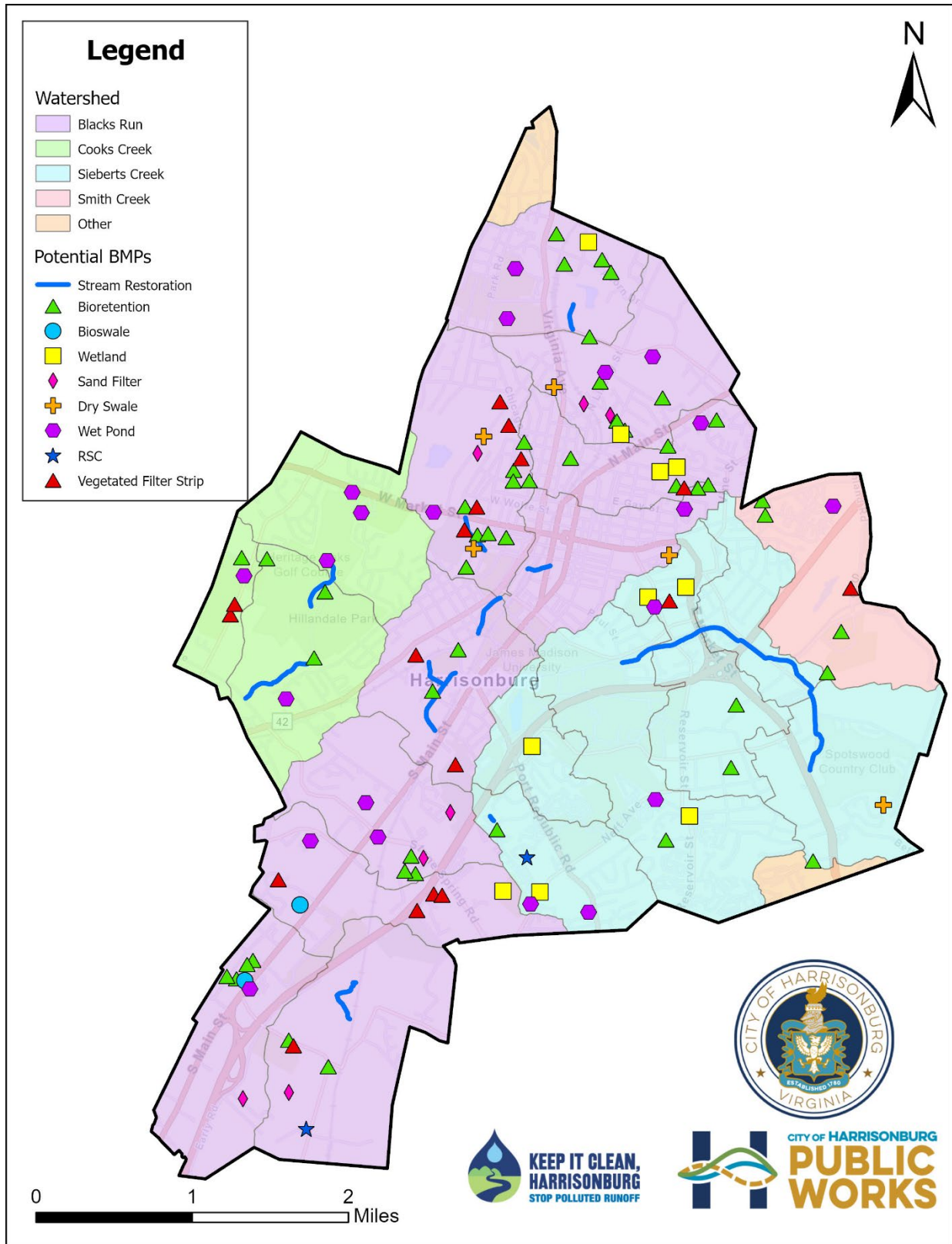


Figure 2. Locations of identified BMP opportunities.

Prioritized List of BMPs and Timelines to Meet TMDL Targets

Prioritization Approach

A standardized set of criteria was applied to prioritize and rank each identified BMP opportunity. Certain BMPs are easier to implement, have more benefits (or less constraints), are lower in cost, or help address drainage concerns. To prioritize the best BMP

Goal 3: Develop prioritization criteria and scoring methodology to drive the timeline of BMP implementation.

opportunities, the plan includes the ranking of all potential BMPs. To do this, the City developed ranking factors and scoring guidelines for each BMP. Each ranking factor was given a scoring range and scoring guidelines regarding which criteria the BMP had to meet to receive a given score. The prioritization criteria were used to score and rank BMPs across the City to implement for maximum benefit to TMDLs and budget. Overall scores from prioritization ranged from 40 to 168, with an average score of 100.

The ranking factors can be separated into four categories as follows.

- Cost and cost-effectiveness
 - ◆ Pounds removed percentiles (TN, TP, TSS)
 - ◆ Percent imperviousness of contributing drainage area
 - ◆ Cost effectiveness (\$/lb) percentile (TN, TP, TSS)
 - ◆ Project cost (design/construction) percentile
 - ◆ Long-term maintenance burden
 - ◆ Virginia Stormwater Local Assistance Fund (SLAF) Grant funding applicability
 - ◆ Virginia Community Flood Preparedness Fund (CFPF) Grant funding applicability
 - ◆ Building Resilient Infrastructure and Communities Grant (BRIC) funding applicability
- Site and schedule constraints
 - ◆ Need for land acquisition
 - ◆ Ease of site access for construction and maintenance
 - ◆ Potential utility constraints
 - ◆ Vegetation removal considerations
 - ◆ Proximity to stormwater network
 - ◆ Typical planning/construction schedule
 - ◆ Construction permitting requirements
- Water quantity
 - ◆ Drainage issues known to the area
 - ◆ Potential to alleviate flooding
- Other factors
 - ◆ Site-specific multi-project potential
 - ◆ Existing BMP retrofit

Chesapeake Bay TMDL BMPs and Timeline

The City’s MS4 permit is reauthorized by DEQ in 5-year permit cycles. The Chesapeake Bay TMDL load reductions are allocated into three permit cycles, or a 15-year span. The City must provide 100% of required load reductions by 2028, divided out through the three permit cycles as follows:

- Cycle 1, 2013–2018: 5% of the total
- Cycle 2, 2018–2023: An additional 35%, or 40% of the total
- Cycle 3, 2023–2028: An additional 60%, or 100% of the total

The City identified more than 100 BMP opportunities to help meet the Chesapeake Bay TMDL. These were scored and ranked to determine the highest ranked BMPs. The highest prioritized BMPs tended to be those that were on City-owned property or in the right-of-way. The City then performed site visits to these BMPs. The purpose of these site visits was to verify site conditions and determine if the site was a good candidate for BMP construction. During the site visit, City staff took photographs and took measurements to aid in future design and construction of the selected BMPs. During the site visits and subsequent discussions, two BMPs were removed from considerations due to site constraints and current development plans. Finally, the City developed conceptual designs for the remaining BMPs (**Attachment A**). These designs provide a more detailed look at the placement of the BMP, site constraints (e.g., power lines), ground elevation, and the surrounding stormwater network.

From these BMPs and other strategies, the City carefully considered the overall costs and timeline to implement the strategies by 2028. **Table 4** includes the final list of BMPs and strategies that the City will use to meet Chesapeake Bay TMDL load reduction targets.

This list includes tree planting and conservation at Saufley Farm. The Saufley Farm project will plant 80–100 acres of trees (300 trees/acre) and preserve 19 acres of existing forest. In addition to the planned tree planting, the City will continue conducting street sweeping in the City and will purchase nutrient credits. The City selected two BMPs identified as part of the SWIP update process to complete the list of BMPs

Goal 4: Develop a prioritized list of BMPs for Chesapeake Bay TMDL.

Objective 4.1: Using the prioritization criteria and methodology developed under Goal 4, the feasible BMPs (from Goal 1) and new BMPs (from Goal 2) for the Chesapeake Bay TMDL will be scored, weighted, ranked, and prioritized.

Objective 4.2: Conduct field visits to verify BMP feasibility for BMPs needed to meet the Chesapeake Bay TMDL by 2028 using a comprehensive consistent field reconnaissance survey template.

Objective 4.3: Create BMP preliminary designs for all BMPs (and buffer BMPs) needed to meet the Chesapeake Bay TMDL by 2028.



City staff visited potential BMP sites to determine the current site conditions and ensure the locations were viable for BMP implementation.

needed to meet the Chesapeake Bay TMDL by 2028. Both BMPs are along West Market Street and are existing dry ponds that will be retrofitted to wet ponds. One is across from Food Maxx, and the other is near Thomas Harrison Middle School.

Table 4. BMP and restoration activities needed to meet the Chesapeake Bay TMDL by 2028.

Practice	TN Load Reduction (lb/yr)	Total BMP Cost (\$) (Design + Const)	BMP Cost / lb TN	Main Watershed	Fiscal Year
Wet pond (across from Food Maxx)	108.5	\$408,946	\$3,769	Blacks	FY27
Wet pond (near Thomas Harrison Middle School)	139.2	\$478,516	\$3,438	Cooks	FY27
Tree planting	1,054.60	\$1,202,645	\$1,140	--	FY27
Credit market	652.57	\$1,937,813	\$2,970	--	FY26
Credit market	152.28	\$418,560	\$2,749	--	FY26
Credit market	191.36	\$552,967	\$2,890	--	FY26
Street sweeping (annual)	52.26	n/a ¹	n/a ¹	--	Annual
Storm drain cleaning (annual)	318.39	n/a ¹	n/a ¹	--	Annual

Notes:

¹ These costs are part of the annual operating budget and have not been quantified separately.

Local Nutrient and Sediment TMDL BMPs and Timeline

The City identified more than 100 BMP opportunities to help meet the local nutrient and sediment TMDLs for Blacks Run, Cooks Creek, and Smith Creek. These were scored and ranked to determine the list of prioritized BMPs to meet each local TMDL. As with the Chesapeake Bay TMDL, the highest prioritized BMPs tended to be those that were on City-owned property or in the right-of-way. The results for each local TMDL are as follows:

- **Blacks Run:** 94 BMPs. Total cost of \$51 million.
- **Cooks Creek:** 57 BMPs. Total cost of \$43 million.
 - ◆ Blacks Run flows into Cooks Creek south of the City; therefore, the 55 BMPs for Cooks Creek (\$40 million) will also help meet the Blacks Run TMDL.
- **Smith Creek:** 6 BMPs. Total cost of \$1 million.

Goal 5: Develop a prioritized list of BMPs for local nutrient and sediment TMDLs.

Objective 5.1: Using the prioritization criteria and methodology developed under Goal 4, the feasible BMPs (from Goal 1) and new BMPs (from Goal 2) for the local TMDLs will be scored, weighted, ranked, and prioritized.

Objective 5.2: Develop reasonable timeline for meeting TMDL targets for the Smith Creek, Cooks Creek, and Blacks Run TMDLs.

The local nutrient and sediment TMDLs do not have a set target date like the Chesapeake Bay TMDL does. However, the City needs to provide justifiable end dates in the SWIP. The City anticipates being able to complete one BMP every three years starting in 2030 once the BMPs required to meet the Chesapeake Bay

TMDL targets have been completed. The City has identified up to 119 BMPs that might be implemented to meet the local nutrient and sediment TMDL targets.

To determine the end date for each watershed, the City developed a potential implementation schedule for the 119 BMPs. Recognizing public sensitivity to the geographic distribution of stormwater projects, the City is opting to construct one BMP in each watershed every nine years. Therefore, with an implementation rate of one BMP every three years, all TMDLs will be achieved by 2367. With a factor of safety, all TMDLs will be met by 2370. The resulting TMDL end dates based on this assumption are summarized in **Table 5**.

Table 5. Local TMDLs, estimated end dates by watershed.

Watershed	Number of Ranked BMPs	Number of BMPs to Be Implemented	TMDL Reductions Required (lbs/yr)	Estimated End Date	End Date with Factor of Safety
Smith Creek	6	4	TSS: 5,500	2057	2060
Cooks Creek ¹	13	13	TP: 3,200	2180	2185
		9	TSS: 216,000	2090	2095
Blacks Run	101	96	TSS: 1,221,983	2367	2370

¹ Blacks Run discharges to Cooks Creek. Therefore, pollutant load reductions from BMPs implemented in Blacks Run contribute to the Cooks Creek cumulative pollutant load reductions and end date. The BMP counts for Cooks Creek in this table do not include those from Blacks Run.

The BMP cost by year and the moving 5-year total cost, which aligns with the Capital Improvement Plan planning window, are shown in **Figure 3** to illustrate how the need for resources changes over time. **Figure 3** is a hypothetical schedule demonstrating one approach to meet the Smith Creek, Cooks Creek, and Blacks Run TMDLs based primarily on the BMP rankings. Other BMP implementation sequences may also be used depending on the City’s available resources.

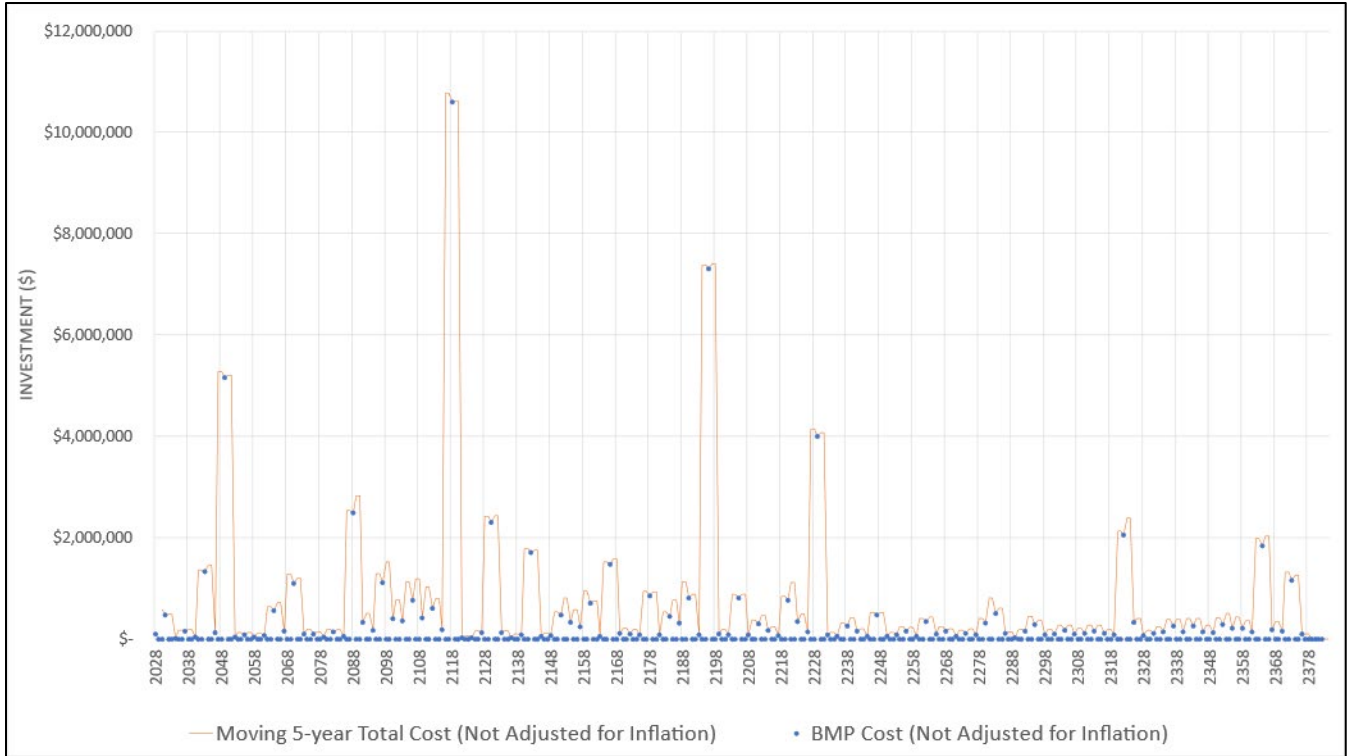


Figure 3. BMP cost and 5-year moving total cost from 2028 until the TMDL end date.

Public Engagement

One of the goals of this SWIP update was to conduct a public engagement campaign that included an online survey to inform the City about how residents would like to see water quantity concerns and climate change impacts incorporated into the stormwater program. Two public meetings were also held.

The SWIP public survey was open from March 8, 2024, through April 17, 2024, and was provided in eight languages: Arabic, English, Kurdish (Sorani), Russian, Spanish, Swahili, Tigrinya, and Ukrainian. The survey gathered feedback about the City’s stormwater quality and quantity plans and learned about the community’s concerns through the 147 responses that were received. The survey questions included the following:

- How often do you experience drainage issues or flooding on your property?
- If flooding occurs on your property, what happens?

Goal 6: Conduct a public engagement campaign.

Objective 6.1: Develop an outreach strategy that addresses City goals and identifies potential partners (e.g., city departments, local homeowner associations, nonprofits) who can help advertise a public survey and public meetings.

Objective 6.2: Conduct an online survey that will inform the City about how residents would like to see water quantity concerns and climate change impacts incorporated into the stormwater program.

Objective 6.3: Host two public meetings—one in spring 2024 and one in fall 2024 to present preliminary SWIP results.

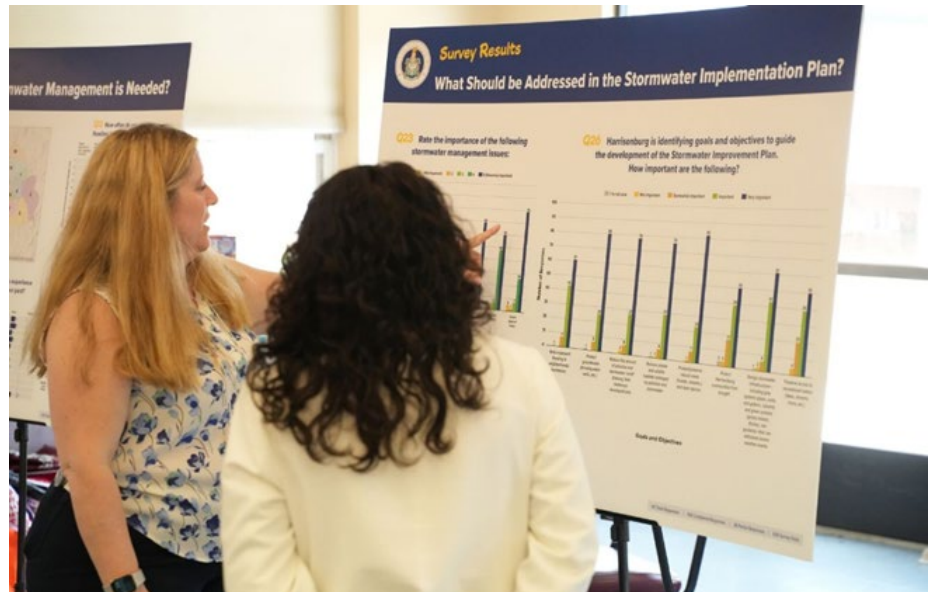
- Rate the importance of the following stormwater management issues (not important to extremely important): flooding and drainage control (water quality); water quality (nutrients, bacteria) of local streams; water quality of Chesapeake Bay; stormwater infrastructure improvements (storm pipes, culverts, inlets); climate change impacts affecting storm intensities/frequencies; erosion control; green spaces/trees.
- Rate topics for the development of the SWIP (e.g., how important are these items?): reduce/prevent flooding in neighborhoods/businesses; protect groundwater (drinking water, wells, etc.); and protect/preserve natural areas (forests, streams) and open spaces.
- Which BMPs would you be willing to implement on your property (conservation landscaping, permeable pavement, roof drain disconnection, nutrient management, rain barrel, tree planting, pavement removal, rain garden)?

The first public meeting was held on May 7, 2024, and hosted 33 attendees. This public meeting was organized like an open house, where attendees visited six stations and interacted with City staff and their on-site consultants. The stations included: (1) program vision, (2) major water-related issues, (3) area of concern locations, (4) survey results, (5) BMP options and city programs, and (6) a kids' corner.

The second public meeting occurred on October 29, 2024, and hosted 23 attendees. The results of the survey and an overview of the SWIP update process were shared with the October public meeting attendees. After the presentation, the City responded to questions from the attendees. Both public meetings had a Spanish translator available. An Arabic translator was available for the October public meeting.

The survey results and follow-up discussion from the May open house and October public meeting are summarized here.

Open house attendees identified green spaces and controlled or no flooding as their vision for a healthy watershed in Harrisonburg. Some noted at the open house that flooding should be ranked higher on the survey. It is possible that those who responded to the survey are not experiencing flooding as much as those who attended the meeting.



The City hosted two open house sessions in May 2024, where residents were able to hear from the City on its stormwater program and the results of the 2024 public survey.

The major water-related issues they would like to see addressed in the SWIP include limiting tree removal; planting native trees and plants; highlighting the need for more pollinators; reducing erosion and flooding; improving stormwater controls; curbing sewer line backup into homes; and adding more retention ponds,

green spaces, and forests that serve wildlife and can be used for recreation as well as a mental escape for people. Seventy percent of survey respondents also indicated that groundwater protection and protection/preservation of natural areas are important topics to include in the SWIP.

When asked which BMPs they would be willing to implement on their own property, nearly 80% or more of all respondents would be willing to implement conservation landscaping, rain barrels, tree planting, and nutrient management (i.e., a lawn care agreement). The open house attendees also identified their areas of concern/drainage complaints (**Figure 4**), which were then evaluated for possible BMPs.

Residents recommended that the City conduct door-to-door outreach to increase participation in the survey. Going door-to-door to educate and reach residents would give the residents an opportunity to respond to the survey. It was suggested that City staff go with a trusted neighbor (an ambassador) to help build trust and share information with residents.

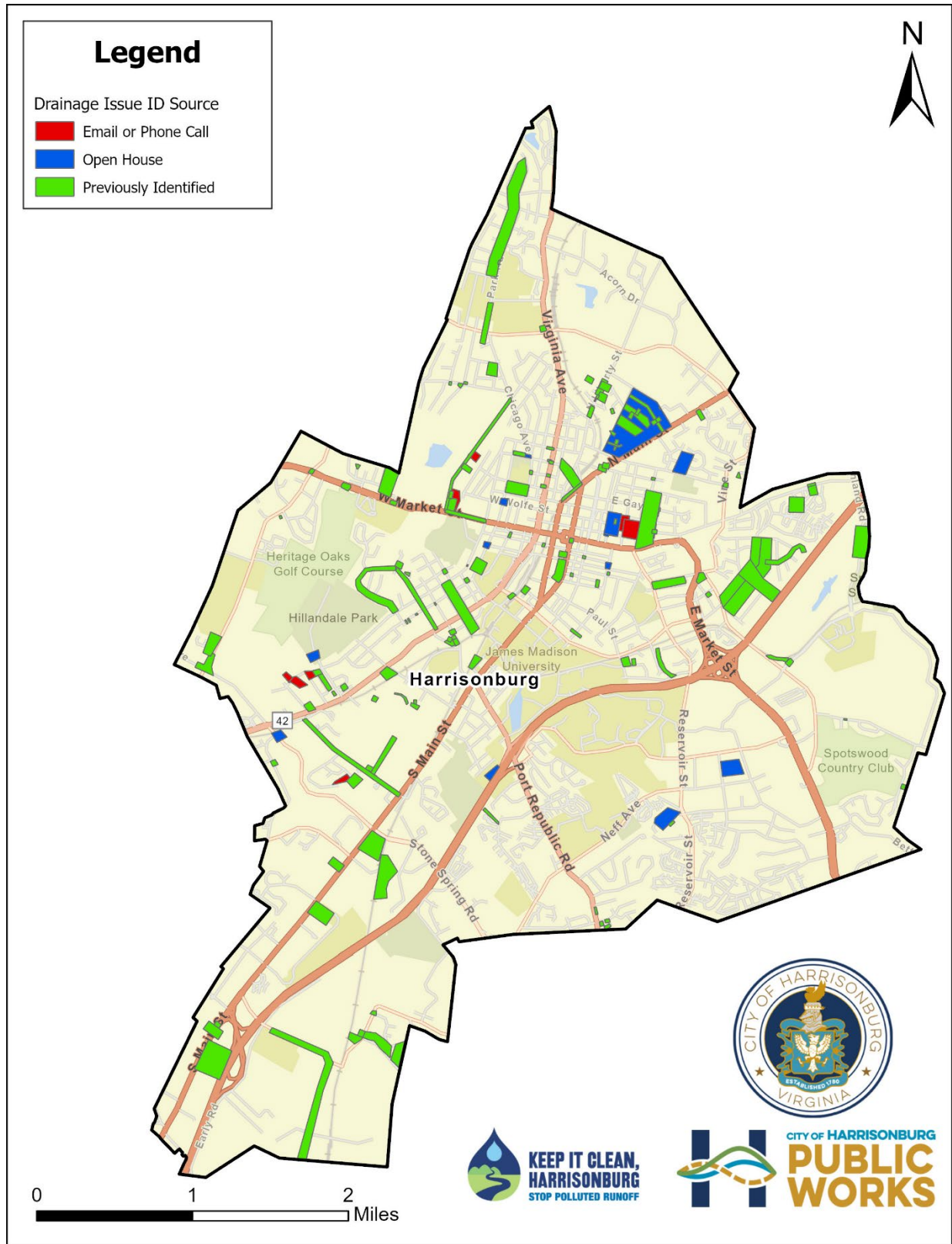


Figure 4. Map of drainage issues identified at the Open House and through emails and phone calls.

Water Quantity Strategies

As seen in the **Public Engagement** section, water quantity was a key issue for many residents. The BMPs in this plan were identified and ranked primarily to meet TMDL water quality targets; however, this SWIP includes careful consideration of water quantity issues related to flooding and drainage concerns throughout the City. This was seen in the inclusion of known drainage issues and consideration of a BMP’s ability to help retain runoff in the **Prioritization**

Approach. All BMPs in this plan that help to reduce or eliminate flooding and drainage issues received additional points during the ranking process.

The City hopes that there will be dual and ancillary benefits to many of the proposed BMPs, thus reducing resources needed for addressing flooding and drainage issues through separate funding in the future. The City established a Stormwater Utility Fee in 2015 to fund its stormwater program; however, the utility fee is not priced to address water quantity issues.

The City currently operates a *Drainage Improvement Program*.² Through this program, residents with concerns about drainage issues that have caused or are threatening to cause damage to private properties can request City-funded improvements. These improvements could include new drainage system projects, improvements to existing drainage systems, improvement of outlets, and implementation of projects to impound, reroute, or divert drainage system waters.

The City assessed its water quantity management challenges by reviewing the City’s *Drainage Improvement Program* and considering the public input received from recent surveys and meetings. From these, the City identified areas of concern and developed potential strategies to address the concerns. The potential strategies include:

- Identifying water quantity issues
- Prioritizing projects
- Developing funding strategies for stormwater Capital Improvement Plan projects
- Addressing drainage issues on private property
- Recognizing the connection between water quality and quantity

The drainage programs of other municipalities in the region were reviewed as part of the SWIP update to identify strategies relevant to the City’s water quantity management challenges. Programs from more than 50 communities that share similar geographical and geological features (e.g., karst topography) were reviewed, including programs in Virginia, Maryland, North Carolina, and Kentucky.

Goal 7: Identify potential strategies for addressing water quantity issues.

Objective 7.1: Create a list of strategies from other municipalities for addressing drainage and flooding concerns.

Objective 7.2: Identify BMP types that also address water quantity issues, either inherently or through design enhancements.

² For additional information on the *Drainage Improvement Program*, please see <https://www.harrisonburgva.gov/drainage-improvement-program>. This website contains links to a manual, application, and description of the process.

Some programs from other regions were included if the drainage program had notable components relevant to the City’s needs. The City is currently reviewing the information that was collected to formulate enhancements to their current programs.

Mechanisms of Water Quantity Management by BMPs

BMPs that improve water quality can also provide some benefits for water quantity management. In addition to the practices presented in **Table 2** (see page 4), impervious surface removal and stream restoration can also provide water quantity management benefits by reducing the amount of stormwater runoff



Drainage issues have been identified as a concern by many City residents and businesses.

generated and restoring the natural ability of streams to manage and convey floodwaters. Because stream restoration is at the outlet of a drainage area, stream restoration should not be treated as a standalone flooding solution for drainage issues in an upstream neighborhood; instead, it should be combined with upland practices that reduce the volume and discharge of stormwater reaching the stream.

Relative Flood Mitigation Benefits of BMPs

Table 7 consolidates information from **Table 2** and information from the *Chesapeake Bay Program Impact Scores Tool*,³ which provides relative flood mitigation benefits for a range of BMP types. The relative flood mitigation benefits can vary based on the location and local site conditions.

Table 6. Flood mitigation benefits for SWIP tool BMP types.

BMP Type	Practice Type (from Table 2)	Flood Mitigation Benefits
Bioretention	Runoff reduction	High
Bioswale	Runoff reduction	High
Dry swale	Runoff reduction	Medium
Filtering practices	Stormwater treatment	Low
Infiltration practice	Runoff reduction	Medium
Permeable pavement	Runoff reduction	Medium
Regenerative stormwater conveyance	Runoff reduction	High
Sand filter	Stormwater treatment	Low
Stream restoration	Not defined	High

³ <https://cast.chesapeakebay.net/EcoHealth/Benefits>, *Impact Scores Spreadsheet Tool*

BMP Type	Practice Type (from Table 2)	Flood Mitigation Benefits
Vegetated filter strip	Runoff reduction	Medium
Wet pond	Stormwater treatment	Medium
Wet swale	Stormwater treatment	Medium
Wetland	Stormwater treatment	Medium

BMPs for Residential Properties

Residential properties account for most of the land area in Harrisonburg. Homeowners can play a more active role in the restoration process. Residents can take a pledge to clean up after their pets and practice environmentally friendly lawn care. Private landowners can aid in restoring the watersheds by installing BMPs (e.g., rain barrels, rain gardens, permeable pavement) on their properties to help minimize their impact on the overall pollution loading to the City’s water bodies. Installing BMPs on private property can also reduce the owner’s stormwater utility fee. Although those practices might seem insignificant, the overall load reductions can be significant if enough private landowners get involved. Organizations such as homeowner associations and neighborhood associations can also help by promoting the City’s programmatic initiatives.

As mentioned above, the City has a stormwater utility fee, which is a fee for service based on the amount of impervious surface area (e.g., driveways, rooftops) on a property. In addition, the City provides credits to reduce their stormwater utility fees for property owners who implement BMPs. Property owners with eligible existing and planned BMPs to reduce stormwater runoff volume and/or pollutant levels from their property can apply for a credit of up to 50%. The credit is valid for five years before the property owner must reapply. Residential property owners may receive credit for the BMP types shown in Table 8 (options from the City’s 2016 *Stormwater Utility Fee Credit Manual for Residential*).⁴



Rain barrels are a common residential BMP. They collect rain runoff from roofs, preventing the runoff from entering storm sewers. The collected water can be used to water plants.

⁴ https://www.harrisonburgva.gov/sites/default/files/PublicWorks/residential_credit_manual_2018.pdf

Table 7. Types of BMPs for residential properties.

Practice	Description ^a
Roof drain disconnection	Downspout disconnection is the process of separating roof downspouts (gutters) from being directed to the storm sewer system and redirecting roof runoff onto pervious surfaces, most commonly a lawn. This reduces the amount of directly connected impervious area to the storm sewer system.
Rain garden	A rain garden is a depressed landscaped area designed to capture and filter stormwater runoff. The plants and soil in a rain garden provide an easy, natural way of reducing the amount of stormwater runoff through infiltration and uptake.
Vegetated filter strip	Vegetated filter strips are runoff flow paths of dense turf, meadow grasses, trees, or other vegetation with a minimum slope to treat runoff from roof downspouts.
Rain barrel/cistern	Rain barrels and cisterns provide temporary storage of rainwater, reducing peak runoff volumes and soil saturation and allowing for stormwater to infiltrate and evaporate.
Urban tree planting	Urban tree planting is the practice of planting deciduous or evergreen trees in grassy areas that will grow and create a leaf canopy that intercepts rainfall and reduces runoff. Native tree species are preferred. Trees can be planted by the owner or a contractor, but species should be selected that will grow best given a variety of conditions, including the soil conditions and sun exposure at the planting site.
Conservation landscaping	Conservation landscaping is the creation of mulched beds planted with perennial plants, shrubs and/or small trees that retain rainfall and absorb runoff from impervious areas. Native plants and organic mulch are highly recommended. This improves water quality, preserves native species, and provides wildlife habitat. Conservation landscaping replaces some of the traditional lawn grass with plants that have adapted to local rainfall and soil conditions and require less water and maintenance.
Homeowner nutrient management & lawn care agreement	Applying pesticides and fertilizers is a common practice for many gardeners. Unfortunately, those lawn care chemicals often wash right into local waterways. The excess nutrients from fertilizers can cause drinking water contamination, algal blooms, and fish kills. The contaminants from pesticides can result in waters that are not fishable or drinkable. Minor changes in your homeowner lawn care practices can mean a healthier lawn and less polluted runoff into local waterways. To receive a Homeowner Nutrient Management and Lawn Care Agreement credit, the homeowner must complete and sign a Homeowner Nutrient Management Agreement.
Impervious surface removal	Removing impervious cover consists of breaking up existing hard surfaces, removing asphalt or concrete from the site, rototilling the underlying soils to relieve compaction, and planting the area with grass or other vegetation. It could also mean installing a permeable material to replace hard surfaces, such as asphalt driveways or concrete walks, or installing a vegetated roof to replace standard roof material. This process requires the proper disposal or recycling of the asphalt or concrete.
Septic to sanitary connection	Septic systems leach nutrients into our waterways. When septic systems are connected to the sanitary sewer system, nutrients no longer leach from the septic drain field.
Residential partnership project with the City of Harrisonburg	This credit option is available to residential property owners who are approached by the City of Harrisonburg about a stormwater project and who have a portion or all of a project footprint or easements on their property. If a stormwater project (or needed easements) spans multiple properties, all associated properties are eligible for credit. This credit is only available when the property owner has donated all necessary easements (permanent and temporary construction easements) to the City.

Note:

^a Descriptions were obtained from the City of Harrisonburg’s [2016 Stormwater Utility Fee Credit Manual for Residential manual](#).

References

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- Comstock, S., S. Crafton, R. Greer, P. Hill, D. Hirschman, S. Karimpour, K. Murin, J. Orr, F. Rose, and S. Wilkins. 2015. *Recommendations of the Expert Panel to Define Removal Rates for New State Stormwater Performance Standards*. Chesapeake Stormwater Network. Timonium, MD. https://chesapeakestormwater.net/wp-content/uploads/2022/07/Final-CBP-Approved-Expert-Panel-Report-on-Stormwater-Performance-Standards-LONG_012015.pdf.
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Attachment A: High Priority Concept Plans

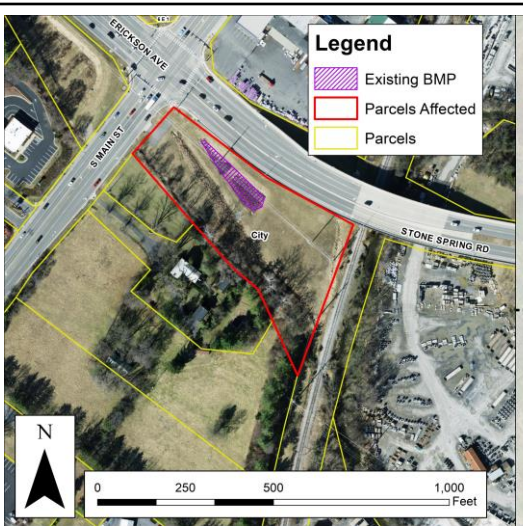
Current Site Location and Watershed Characteristics						
Date of Field Visit	7/17/24	Latitude	38.421628°			
Major Watershed	Blacks Run	Longitude	-78.891263°			
Existing Land Use	Detention Basin	Landowner	City Property			
Street Address	2140 S Main St					
Drainage Area, Acres	27.2	Total Imperviousness	76%			
Load lbs/yr	TN	347	TP	33	TSS	24,106

Design Characteristics*						
Proposed SWMF Type	Level 1 Wet Pond					
BMP Footprint, Acres	0.72	Disturbed Area	1.1			
Anticipated Net Load Reduction lbs/yr	TN	118	TP	18	TSS	16,208
Annual O&M	\$14,000		Total Cost (25 years O&M)	\$795,000		
Design & Construction	\$445,000					
Land Acquisition	\$0					
Total Cost/lb Net Reduction	TN	\$7,000	TP	\$45,000	TSS	\$50

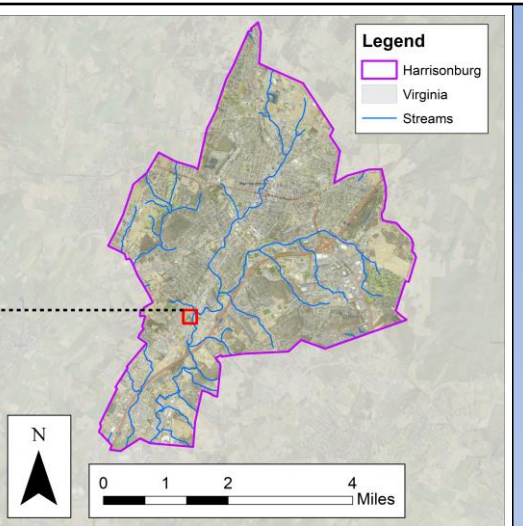
Proposed SWMF Description: Based on drainage area, the level 1 wet pond requires ~77,000 CF of treatment volume. The designed retrofit provides over 80,000 CF with a permanent pool SE of the current basin; to avoid existing water and power lines. The forebay is connected to the pond via a winding path to create a long flow path. Could be possible to divert additional flow from SE pipe if additional treatment is desired. Additional permitting may be required for construction in a flood zone.

Existing Site Description: Existing detention basin in the Blacks Run watershed on City property in a 1% Annual Chance Flood Hazard. The basin is triangular and located below powerlines. Current ponding depth of ~4 ft below the overflow weir for a total of ~25,000 CF detention storage. Stormwater enters the system from the NW through the stormwater pipes under South Main Street and Stone Spring Road and exits SW at the ~4 ft outlet structure. The City currently receives minimal TMDL credit for this BMP.

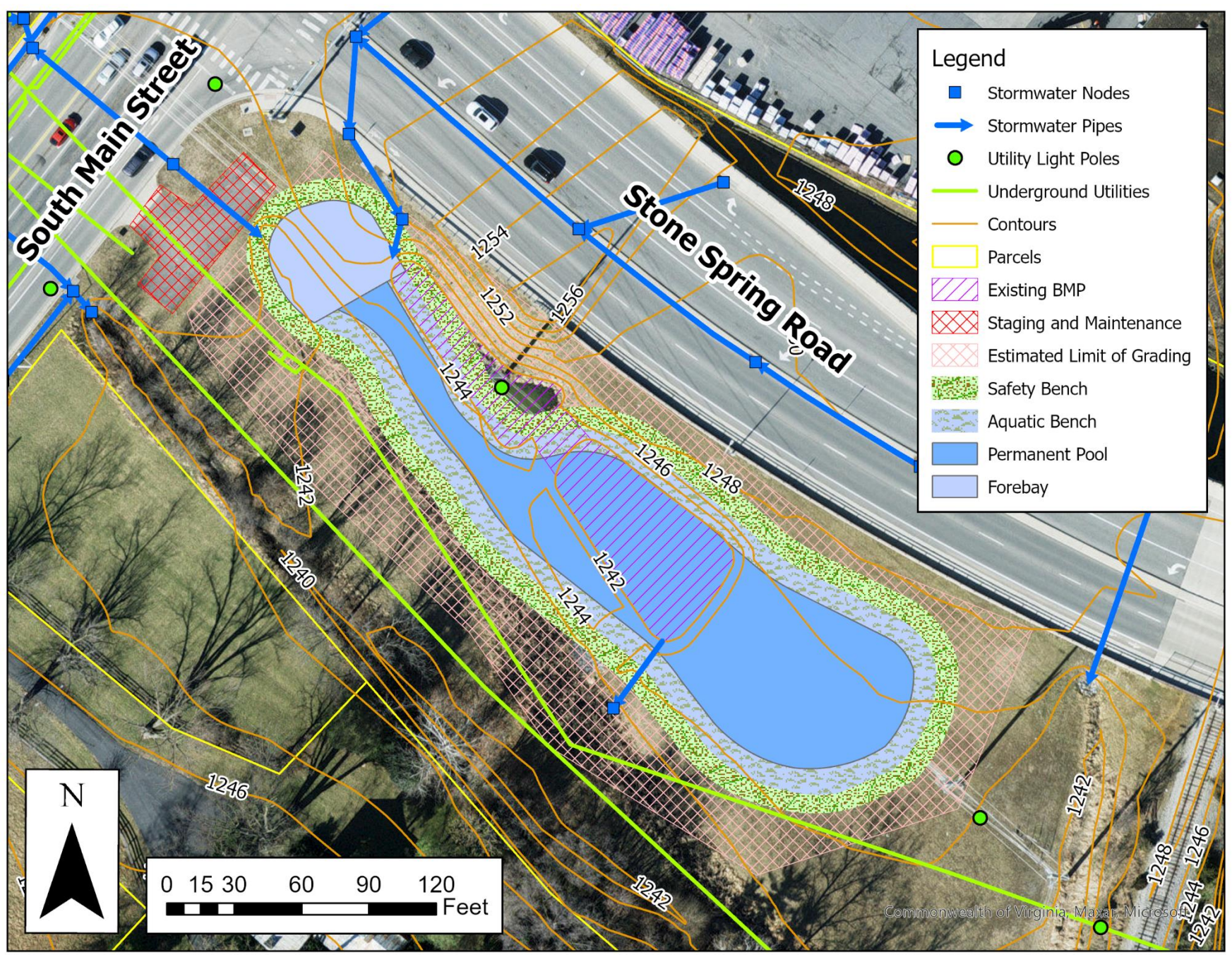
*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics, particularly depending on vertical depth available. Graphical site rendering presented below is for illustrative purposes only.



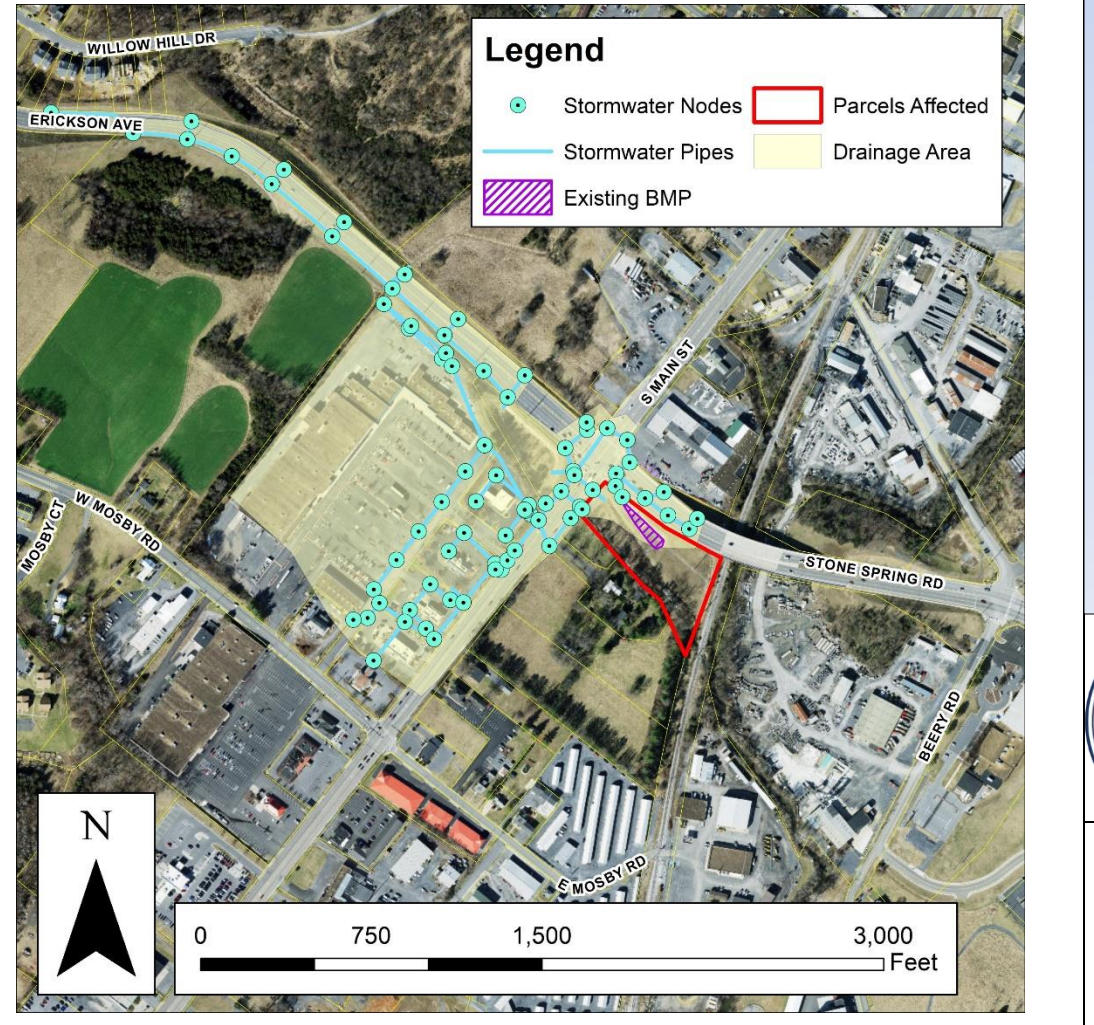
006_B_3 Project Area



Vicinity Map



Existing Site overall photo facing downstream with possible utility conflict (left) and overall site photo facing upstream (right)



006_B_3 STORM WATER MANAGEMENT FACILITY:
 RETROFIT DETENTION POND TO WET POND
 CONCEPTUAL DESIGN: WATER QUALITY IMPROVEMENT STRATEGY RETROFIT



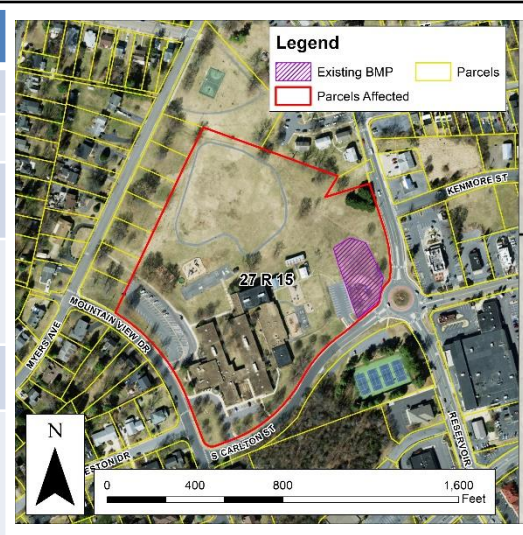
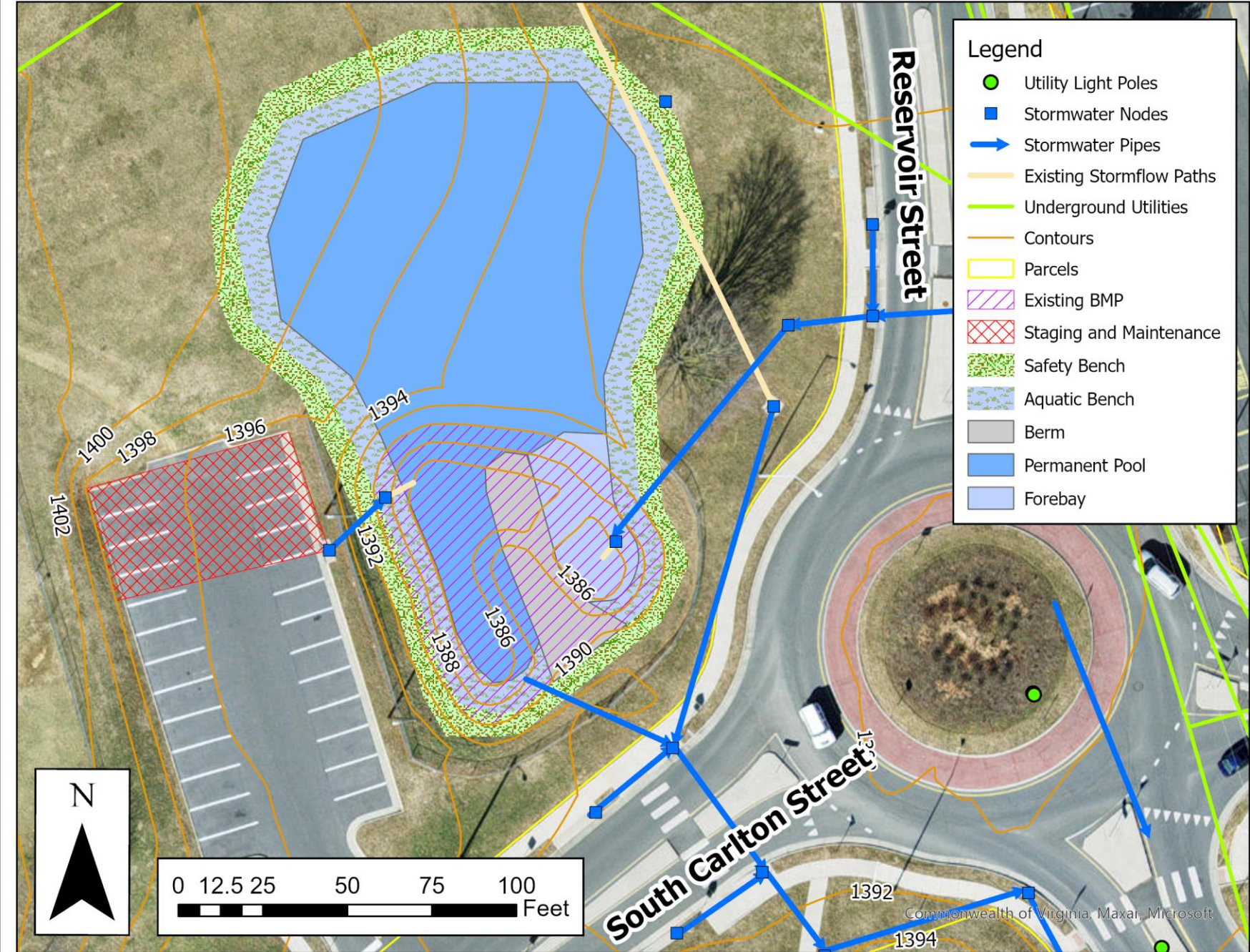


Current Site Location and Watershed Characteristics					
Date of Field Visit	09/05/2024	Latitude	38.442890°		
Major Watershed	Sieberts Creek	Longitude	- 78.858725°		
Existing Land Use	Detention Basin	Landowner	City Property		
Street Address	302 Myers Ave, Harrisonburg, VA 22801				
Drainage Area, Acres	38.4	Total Imperviousness	28%		
Load lbs/yr	TN 320	TP 17	TSS 8,742		

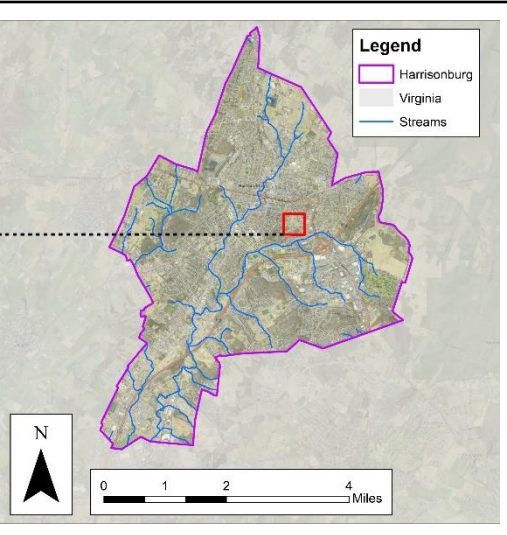
Design Characteristics*					
Proposed SWMF Type	Level 1 Wet Pond				
BMP Footprint, Acres	0.5	Disturbed Area		0.7	
Anticipated Net Load Reduction lbs/yr	TN 96	TP 8	TSS 5,236		
Annual O&M	\$20,000	Total Cost (25 years O&M)		\$980,000	
Design & Construction	\$480,000				
Land Acquisition	\$0				
Total Cost/lb Net Reduction	TN \$11,000	TP \$123,000	TSS \$190		

Proposed SWMF Description: Based on drainage area, the level 1 Wet Pond requires ~62,000 CF treatment volume. The designed retrofit increases the BMP footprint by ~2 and the treatment volume to nearly 65,000 CF. The inlet will flow into a forebay, where a berm will force water into the main pond area to increase flow path length. Both the forebay and permanent pool will be excavated to hold additional water at an average depth of 5 ft.

*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics, particularly depending on vertical depth available. Graphical site rendering presented below is for illustrative purposes only.



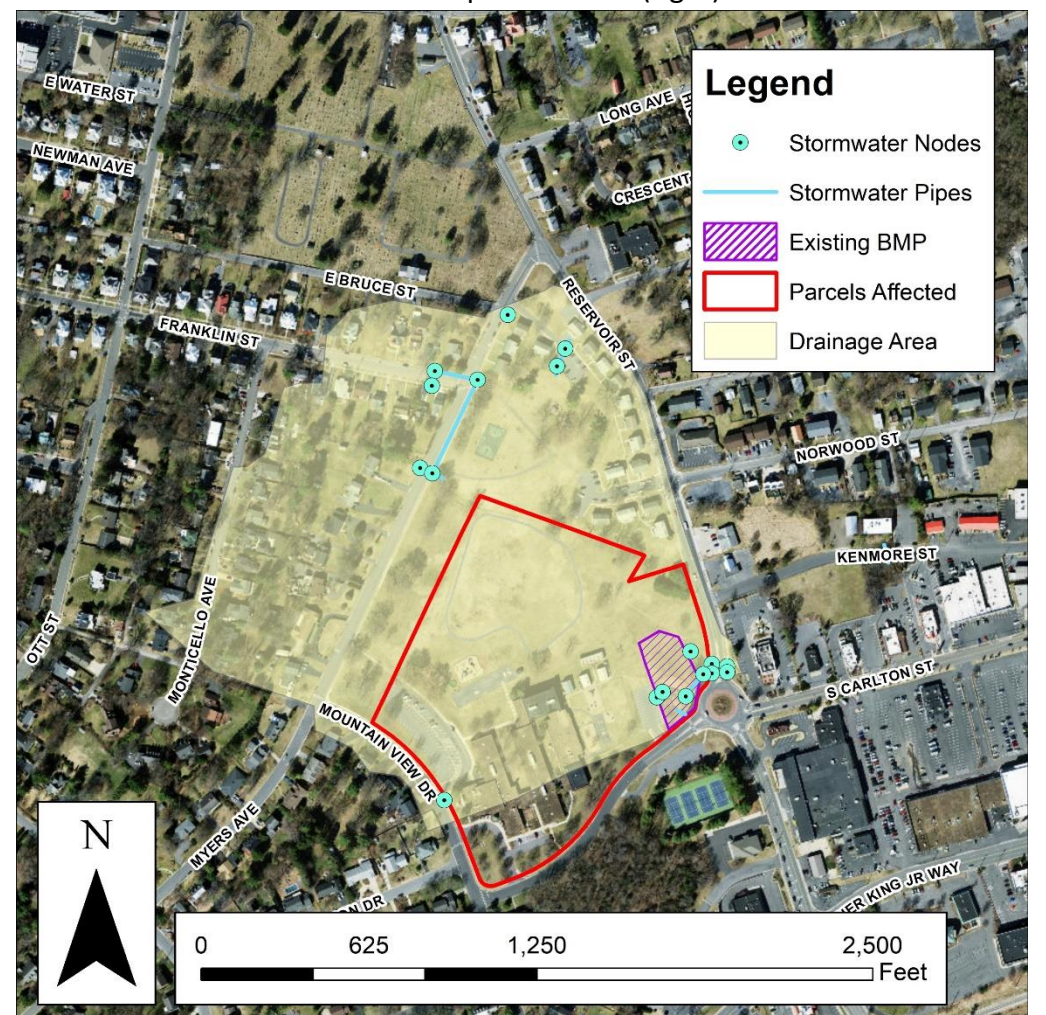
Project Area



Vicinity Map



Existing Site overall photo, outlet pictured (left) and open area north of existing BMP for expansion area (right)

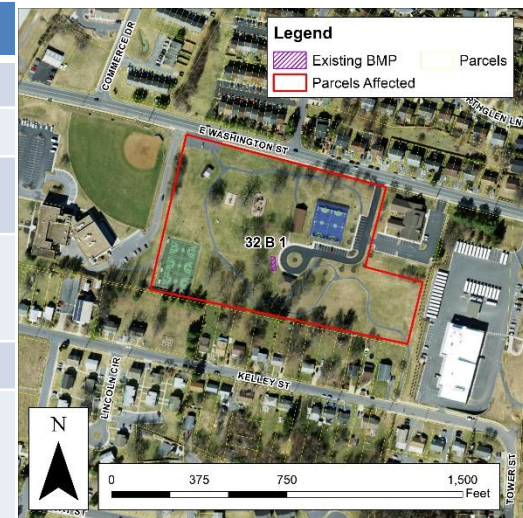


Current Site Location and Watershed Characteristics						
Date of Field Visit	7/17/2024	Latitude	38.454223°			
Major Watershed	Blacks Run	Longitude	- 78.855277°			
Existing Land Use	None	Landowner	City Property			
Street Address	431 E Washington St					
Drainage Area, Acres	0.6	Total Imperviousness	72%			
Load lbs/yr	TN	9	TP	1	TSS	528

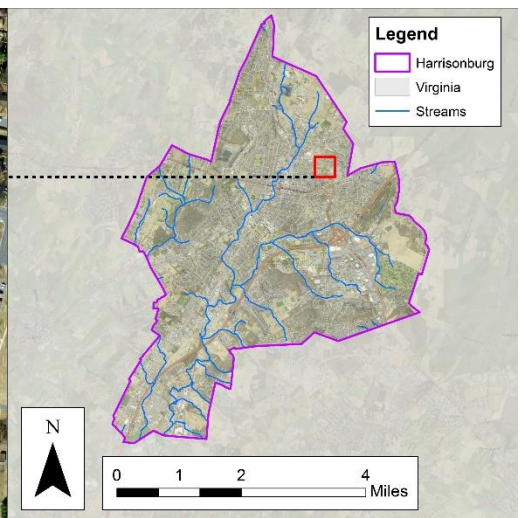
Design Characteristics*						
Proposed SWMF Type			Vegetated Filter Strip			
BMP Footprint, Acres	0.28		Disturbed Area	0.8		
Anticipated Net Load Reduction lbs/yr	TN	5	TP	1	TSS	396
Annual O&M	\$300		Total Cost (25 years O&M)	\$21,000		
Design & Construction	\$13,000					
Land Acquisition	\$0					
Total Cost/lb Net Reduction	TN	\$5,000	TP	\$21,000	TSS	\$53

Existing Site Description: Stormwater drains from the parking circle through a pipe to riprap on the existing hill. No further stormwater management structures. The existing slope is between 9-27% and averages 17%. An existing walking path is located ~130 ft from the parking circle. The site is not located in a flood zone. The City currently receives no TMDL credit for this site.

Proposed SWMF Description: Flow from the impervious area will be conveyed under the existing sidewalk to a 75 ft length vegetated filter strip with a gravel water spreading diaphragm at the top and vegetated, permeable berm at the bottom. Based on the existing conditions, current site grade and walking path location, the grade will have to be filled to a minimum of 6%. Some existing trees may need to be relocated.

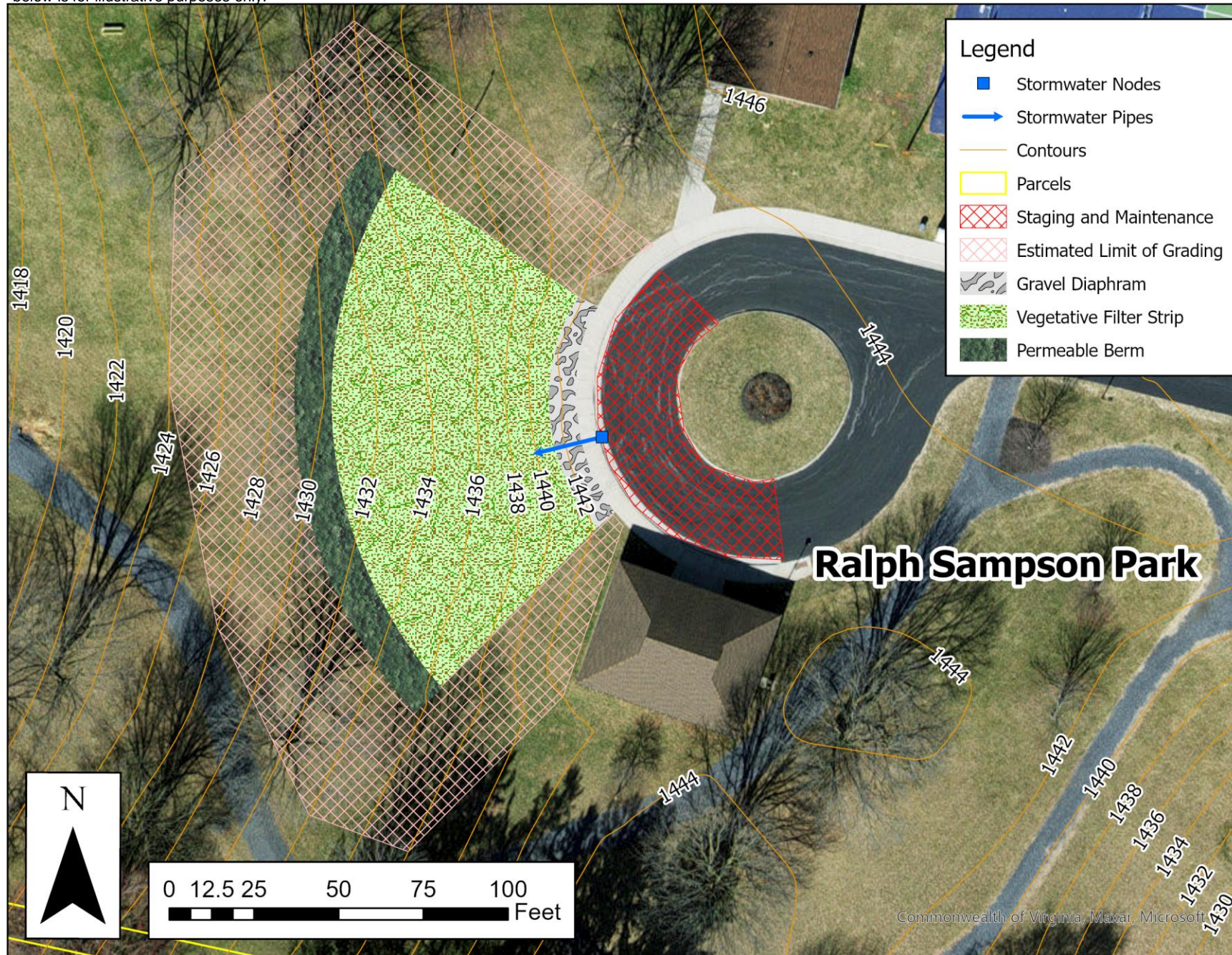


Project Area

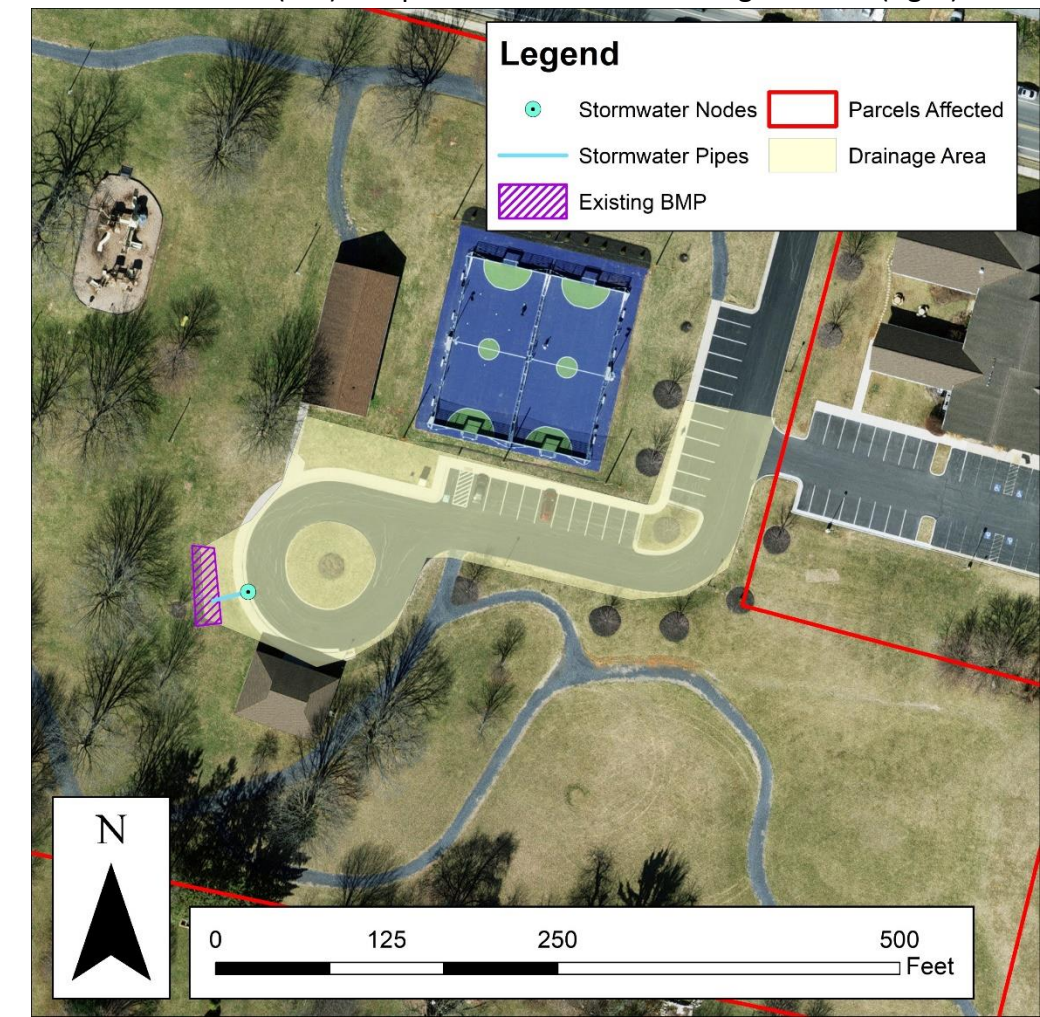


Vicinity Map

*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics, particularly depending on vertical depth available. Graphical site rendering presented below is for illustrative purposes only.



Existing Site overall photo looking toward southern pavilion, outlet pictured bottom middle (left) and photo above outlet looking downhill (right)



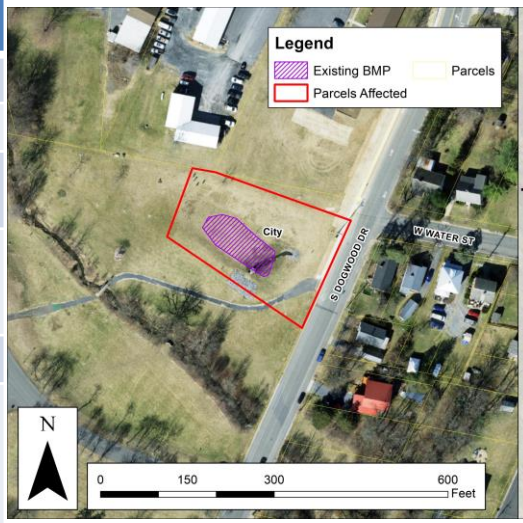
032_B_1_BMP1 STORM WATER MANAGEMENT FACILITY:
 NEW BUILD: VEGETATED FILTER STRIP
 CONCEPTUAL DESIGN: WATER QUALITY IMPROVEMENT STRATEGY NEW BUILD



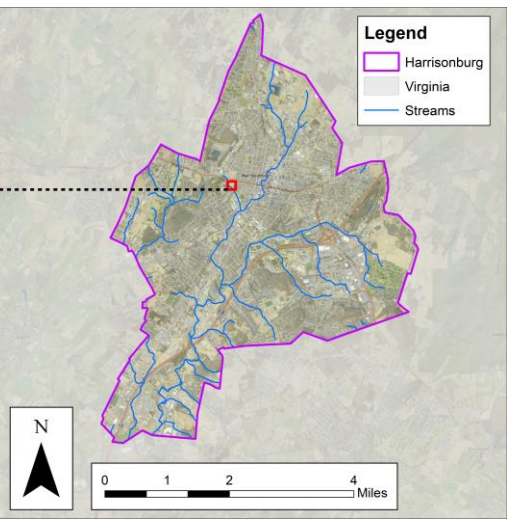


Current Site Location and Watershed Characteristics					Design Characteristics*					
Date of Field Visit		Latitude	38.449797°		Proposed SWMF Type			Bioretention		
Major Watershed	Cooks Creek	Longitude	- 78.879477°		BMP Footprint, Acres	0.07		Disturbed Area	0.2	
Existing Land Use	None	Landowner	City Property		Anticipated Net Load Reduction lbs/yr	TN	12	TP	1	
Street Address	114 South Dogwood Drive							TSS	567	
Drainage Area, Acres	1.9		Total Imperviousness		Annual O&M		Total Cost (25 years O&M)			
				29%	\$5,000			\$225,000		
Load lbs/yr	TN	22	TP	1	Design & Construction	\$100,000		Land Acquisition		
						\$0				
Existing Site Description: Stormwater drains from the street, parking lots, and adjacent buildings to stormwater pipes that flow into an existing dry detention basin. This site is located within a disc golf course but not in a flood zone. Flowing water was found between the existing storm pipe and the outlet. Minor erosion identified next to outlet pipe. The invert elevation of the outlet is minimal and no ponding was seen. The City currently receives no TMDL credit for this site.					Proposed SWMF Description: Based on drainage area, bioretention requires ~3,000 CF of treatment volume. The designed retrofit increases the treatment volume to ~3,200 CF. The retrofit fits into the existing footprint and reduces the footprint by nearly half. Two holes for disc golf may need to be temporarily relocated for construction.					
Total Cost/lb Net Reduction					TN	\$19,000	TP	\$225,000	TSS	\$400

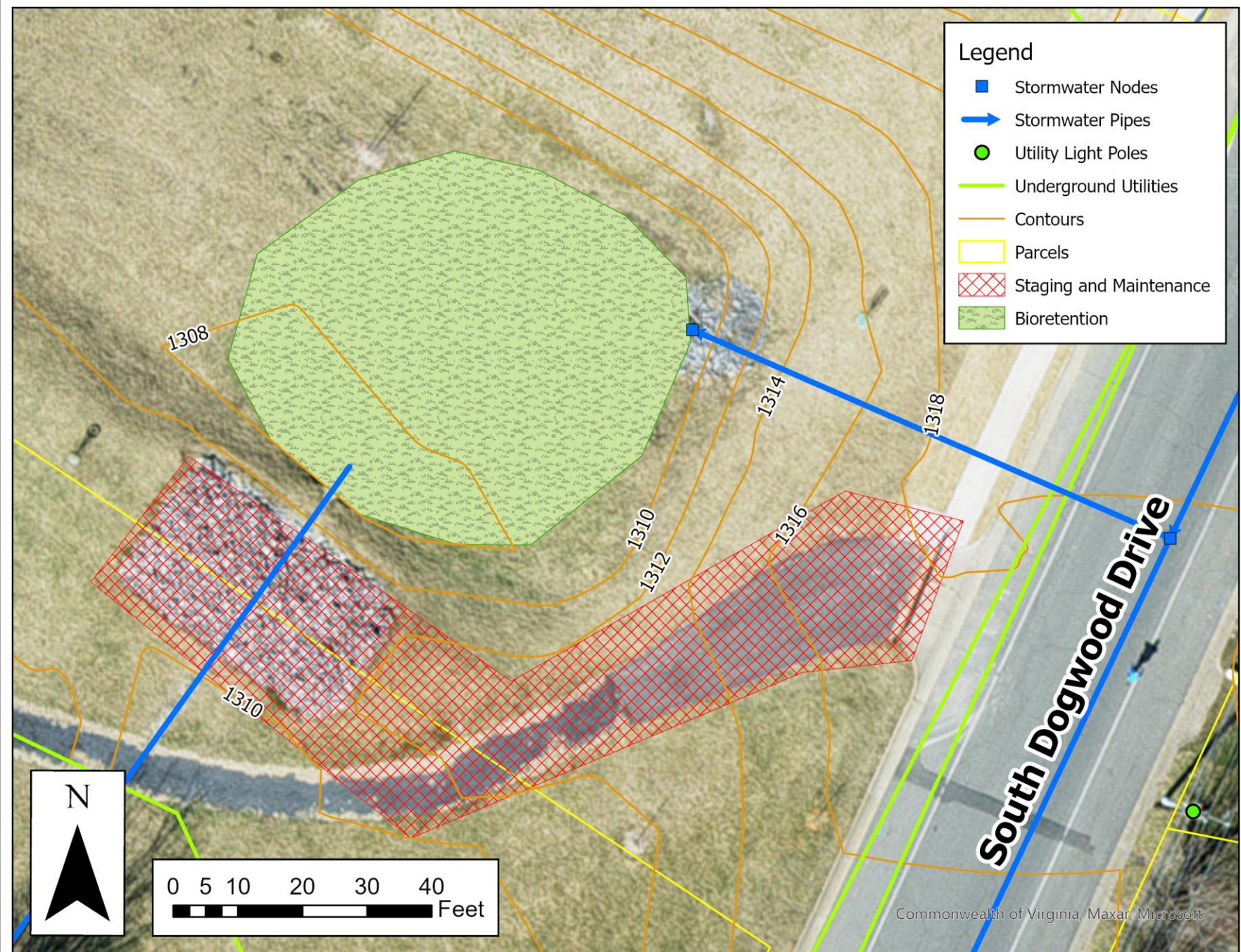
*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics, particularly depending on vertical depth available. Graphical site rendering presented below is for illustrative purposes only.



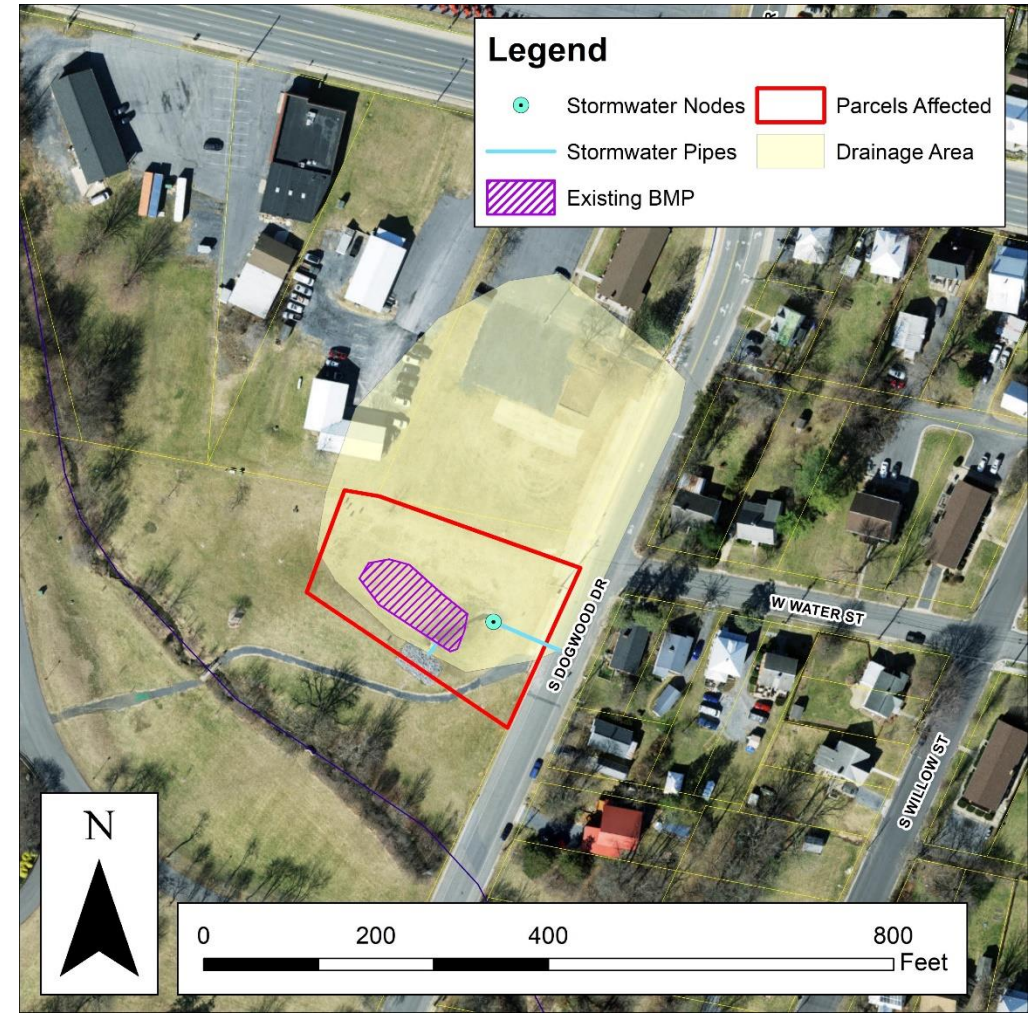
Project Area



Vicinity Map



Existing Site overall photo looking SE (left), inlet with flowing water (middle) and existing outlet structure with signs of erosion on pipe (right)



Commonwealth of Virginia, Maxar, Microsoft



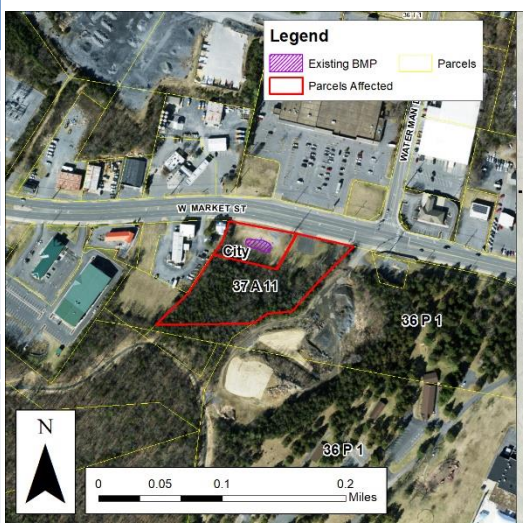
Current Site Location and Watershed Characteristics			
Date of Field Visit	07/17/2024	Latitude	38.451865°
Major Watershed	Blacks Run	Longitude	-78.884734°
Existing Land Use	Detention Basin	Landowner	City Property
Street Address	895 W Market Street, Harrisonburg, VA		
Drainage Area, Acres	33.3	Total Imperviousness	31%
Load lbs/yr	TN 386	TP 25.4	TSS 15,882

Design Characteristics*					
Proposed SWMF Type			Level 1 Wet Pond		
BMP Footprint, Acres		0.39	Disturbed Area		0.9
Anticipated Net Load Reduction lbs/yr		TN 108	TP 10.5	TSS 9,053	
Annual O&M		\$18,000	Total Cost (25 years O&M)		\$996,000
Design & Construction		\$546,000			
Land Acquisition		\$0			
Cost/lb Net Reduction		TN \$10,000	TP \$100,000	TSS \$110	

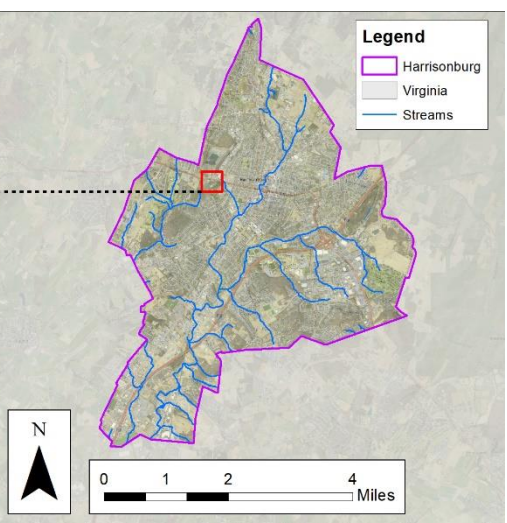
Existing Site Description: The site is an existing volume control detention basin in the Blacks Run watershed on City property. The basin is conical with ~2.5:1 interior side slopes and a ponding depth of ~3 ft below the overflow weir for a total of ~15,800 CF detention storage. Stormwater enters the system from the north through the stormwater pipe under West Market Street and exits east at the ~3 ft outlet structure. The City currently receives minimal TMDL credit for this BMP.

Proposed SWMF Description: Based on drainage area, the level 1 wet pond requires a 56,500 CF treatment volume. The designed retrofit increases the treatment volume to over 59,000 CF. The existing BMP footprint will increase by nearly 2 with a permanent pool at 5 ft deep. If upstream infrastructure limits increased ponding depth additional excavation or an enlarged footprint may be necessary. The increased length of the wet pond provides a 2:1 length to width ratio. The existing stormwater outfall may be relocated to the east end of the pond to provide an optimal flow path.

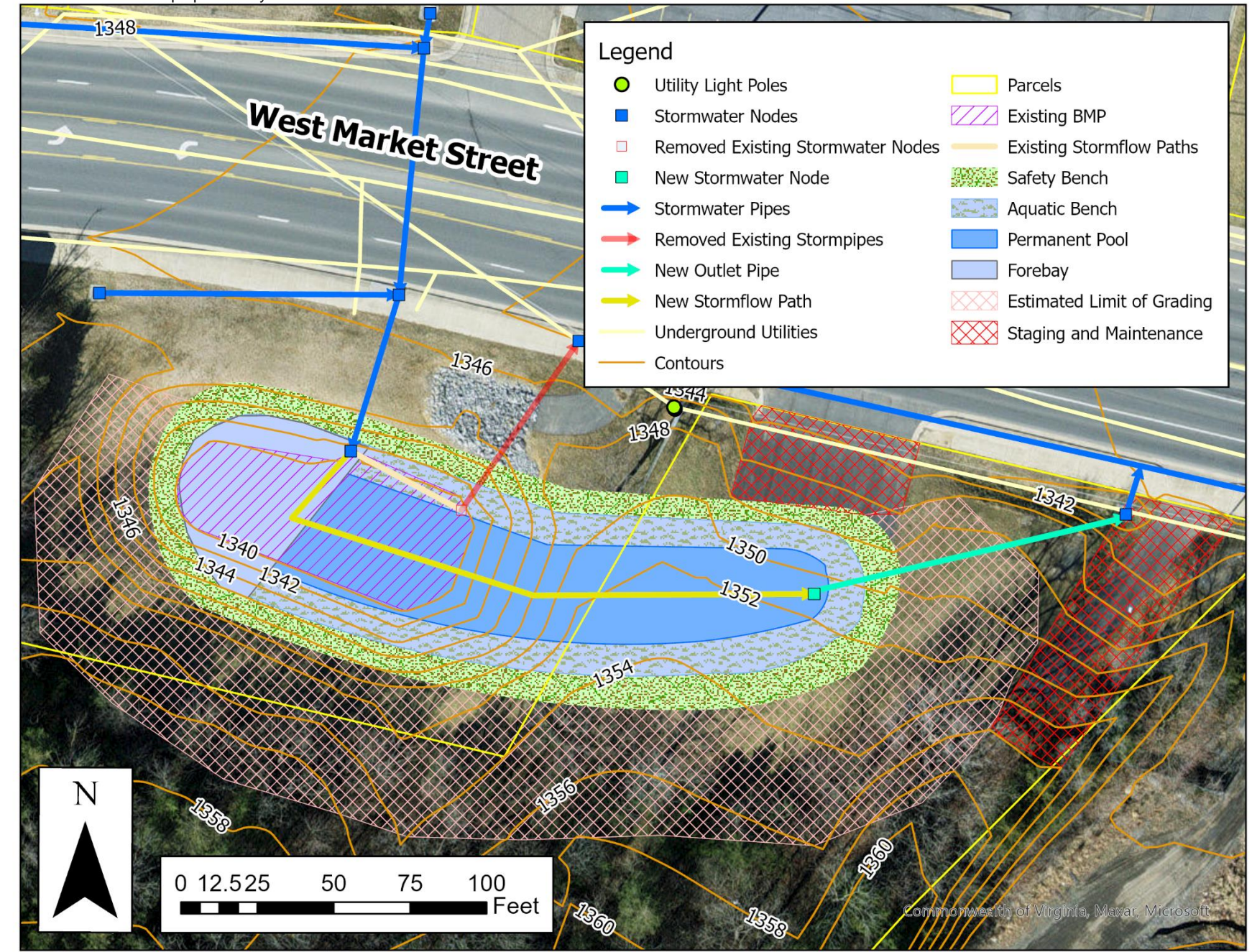
*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics, particularly depending on vertical depth available. Graphical site rendering presented below is for illustrative purposes only.



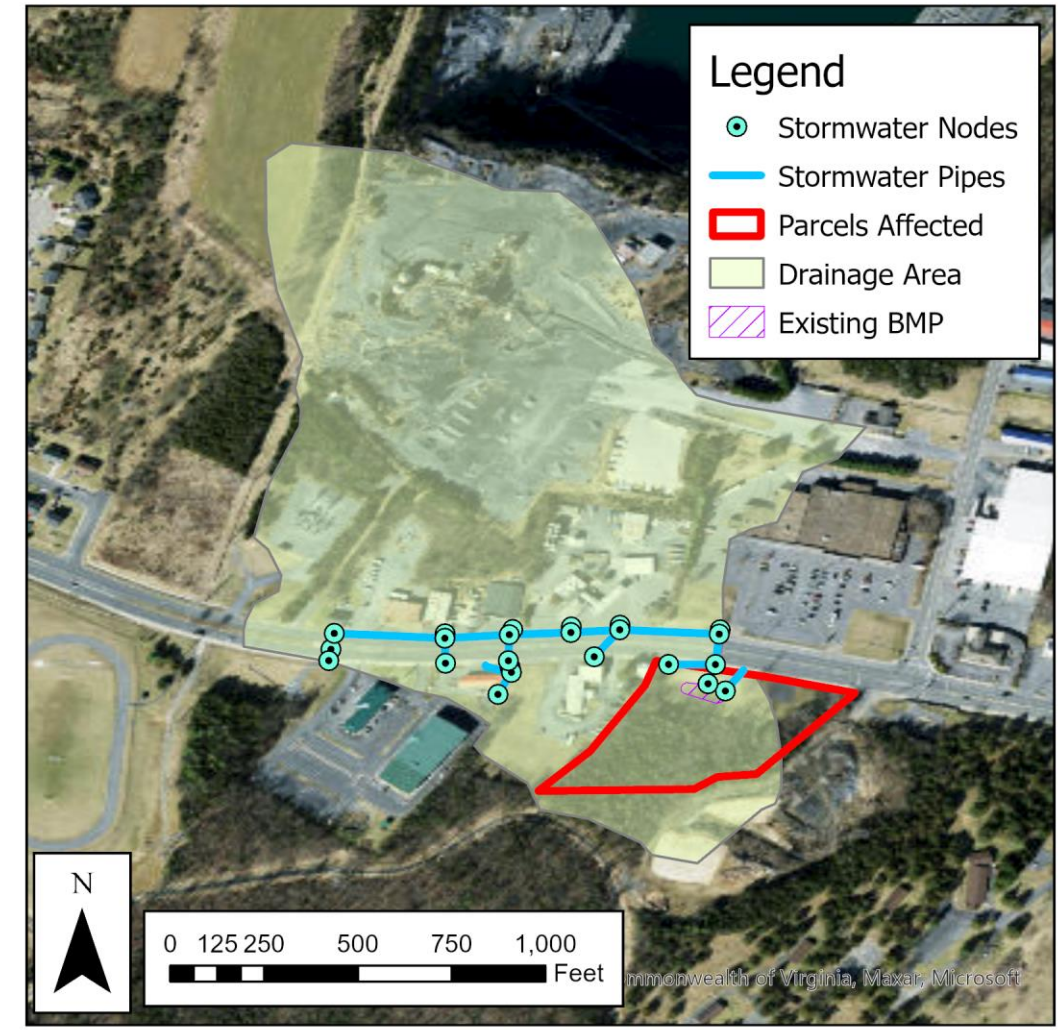
Project Area



Vicinity Map



Existing Site overall photo (left) and photo from within the existing BMP (right)



Commonwealth of Virginia, Maxar, Microsoft

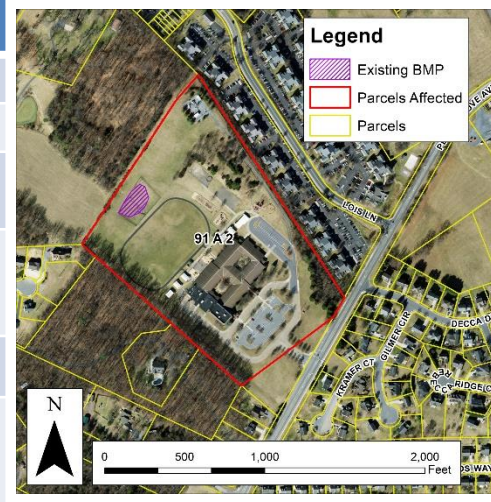
Commonwealth of Virginia, Maxar, Microsoft

Current Site Location and Watershed Characteristics						
Date of Field Visit	07/17/2024	Latitude	38.416583°			
Major Watershed	Blacks Run	Longitude	- 78.876479°			
Existing Land Use	Detention Basin	Landowner	City Property			
Street Address	1575 Peach Grove Ave, Harrisonburg, VA 22801					
Drainage Area, Acres	10.7	Total Imperviousness	28%			
Load lbs/yr	TN	122	TP	8	TSS	4,763

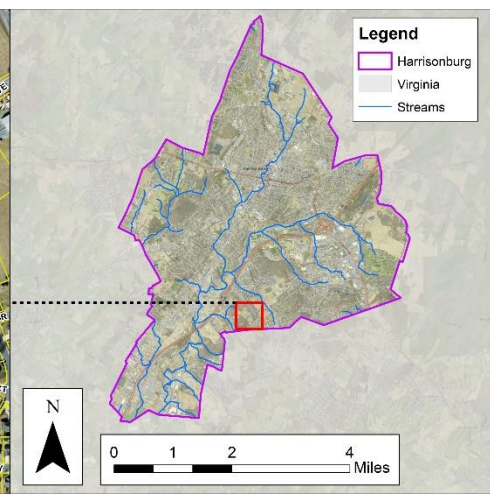
Existing Site Description: A volume control detention basin in the Blacks Run watershed on City property. The basin is wide with a short flow path and steep inlet with low relief to outlet structure ~3 ft elevation for a total of ~10,360 CF detention storage. Stormwater enters the system from the SE through the stormwater pipe under Elementary School track and exits NW at the ~3 ft outlet structure. The site is not in a flood zone. The City currently receives minimal TMDL credit for this BMP.

Design Characteristics*						
Proposed SWMF Type	Level 1 Wetland					
BMP Footprint, Acres	0.3	Disturbed Area	0.5			
Anticipated Net Load Reduction lbs/yr	TN	38	TP	4	TSS	2,948
Annual O&M	\$6,000		Total Cost (25 years O&M)	\$325,000		
Design & Construction	\$175,000					
Land Acquisition	\$0					
Total Cost/lb Net Reduction	TN	\$9,000	TP	\$82,000	TSS	\$110

Proposed SWMF Description: Based on drainage area, the level 1 wetland requires 26,000 CF treatment volume. The designed retrofit increases the BMP footprint by ~2 and the treatment volume to nearly 27,000 CF. The inlet will flow into a forebay, where a berm will force water into two adjoining wetland cells. Opposite the inlet and forebay is a permanent deep pool at the outlet. Both the forebay and permanent pool will be excavated to hold additional water.

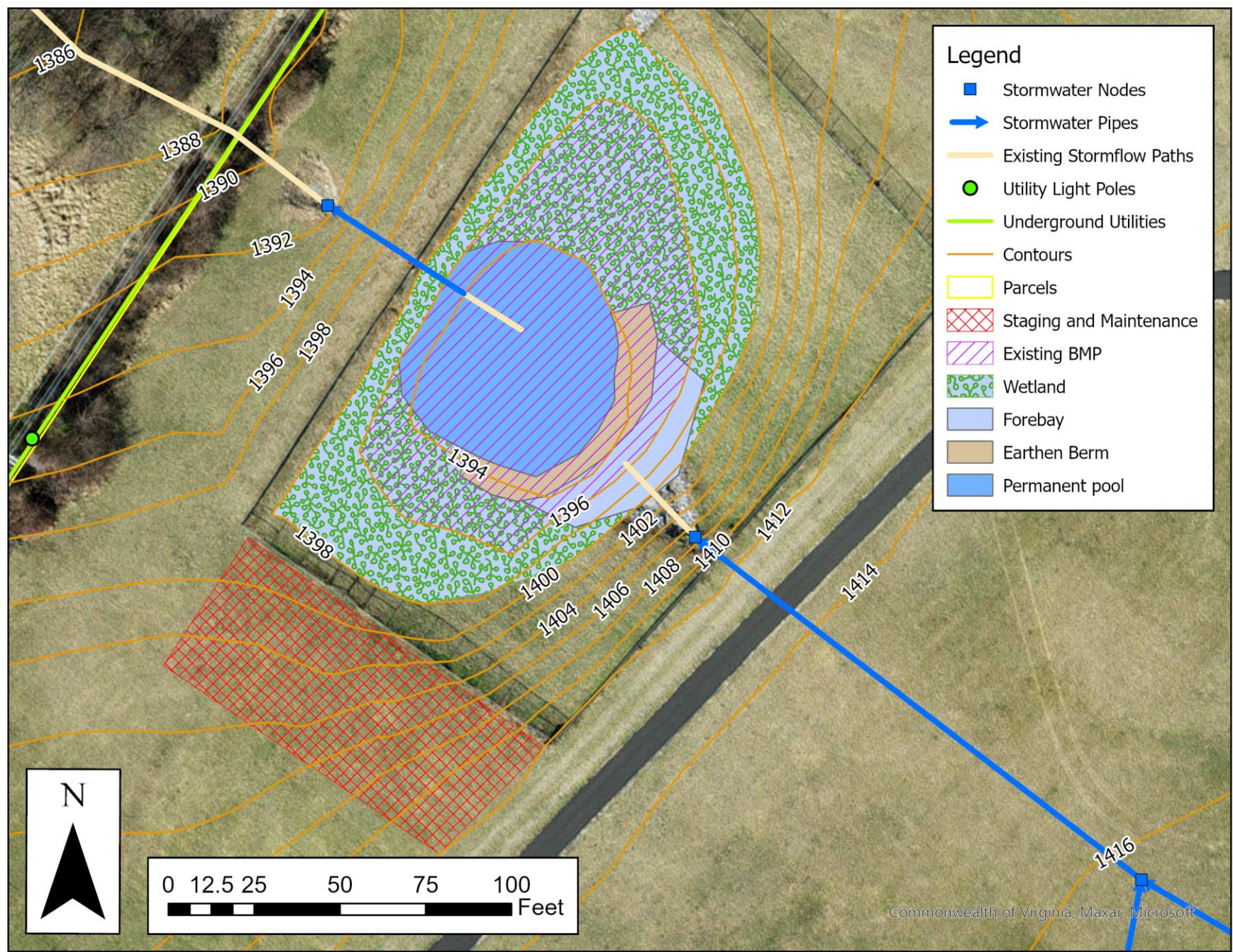


091_A_2_BMP2 Project Area

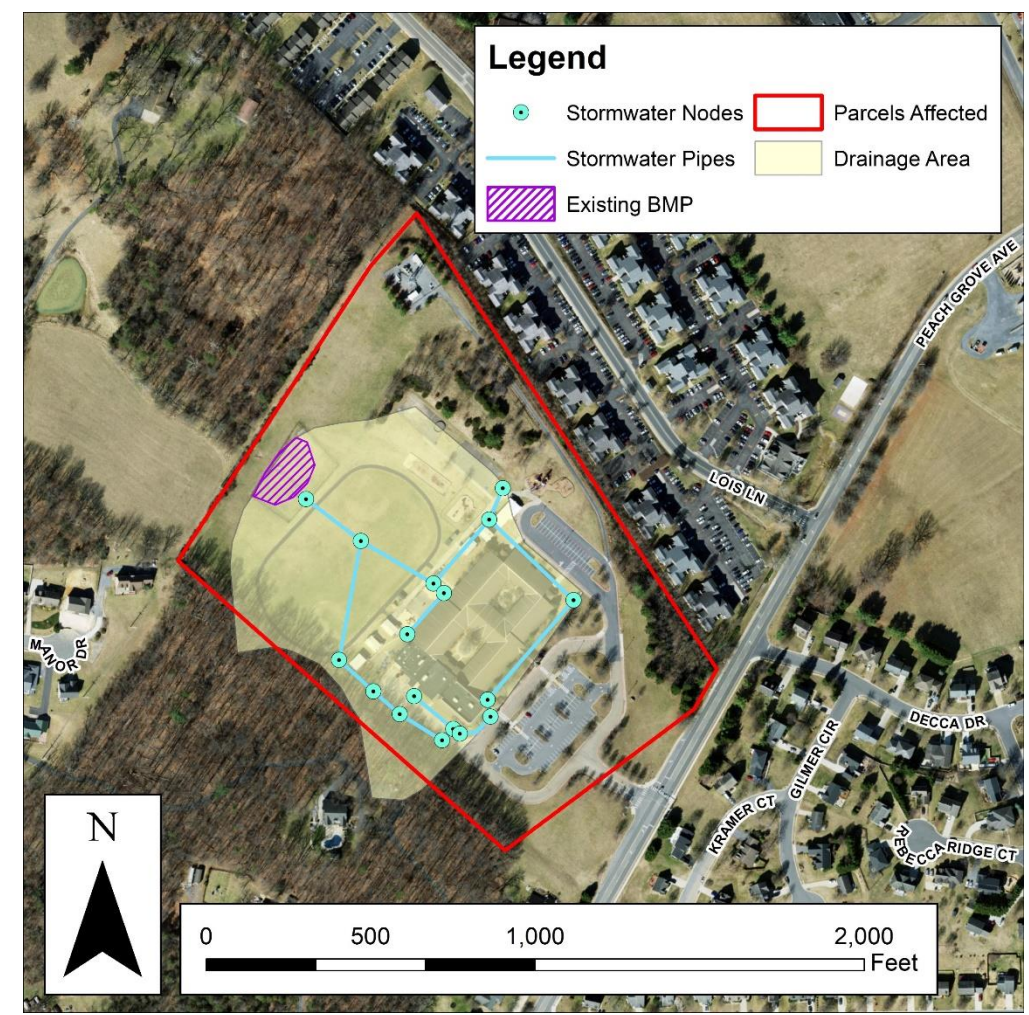


Vicinity Map

*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics, particularly depending on vertical depth available. Graphical site rendering presented below is for illustrative purposes only.



Existing Site overall photo, outlet pictured (left) and photo from within the existing BMP outlet top, existing riprap at inlet bottom (right)



091_A_2_BMP2 STORM WATER MANAGEMENT FACILITY:
 RETROFIT DETENTION POND TO WETLAND
 CONCEPTUAL DESIGN: WATER QUALITY IMPROVEMENT STRATEGY RETROFIT



Current Site Location and Watershed Characteristics						
Date of Field Visit	09/05/2024	Latitude	38.453651°			
Major Watershed	Cooks Creek	Longitude	-78.894507°			
Existing Land Use	Detention Basin	Landowner	City Property			
Street Address	1611 W Market Street, Harrisonburg VA					
Drainage Area, Acres	35.2	Total Imperviousness	47%			
Load lbs/yr	TN	466	TP	34	TSS	22,519

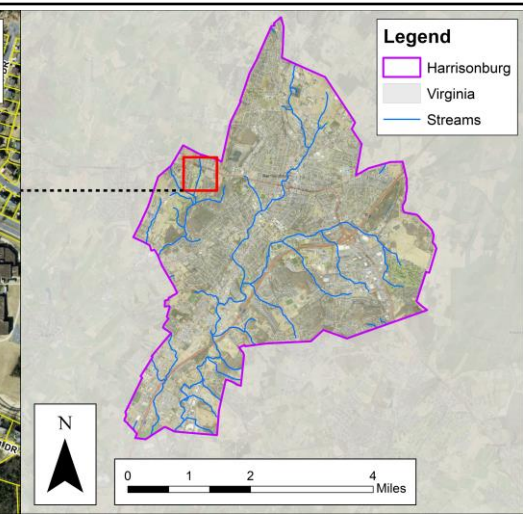
Existing Site Description: An existing volume control detention basin in the Cooks Creek Run watershed on City property. The basin is conical with ~2.5:1 interior side slopes and a ponding depth of ~3 ft below the overflow weir for a total of ~16,000 CF detention storage. Stormwater enters the system from the NE through the stormwater pipe under West Market Street and exits W at the ~3 ft outlet structure. The site is located partially in a 1% annual chance flood hazard zone. The City currently receives minimal TMDL credit for this BMP.

Design Characteristics*						
Proposed SWMF Type	Level 1 Wet Pond					
BMP Footprint, Acres	0.6	Disturbed Area	0.8			
Anticipated Net Load Reduction lbs/yr	TN	139	TP	15	TSS	13,469
Annual O&M	\$19,000		Total Cost (25 years O&M)	\$1,059,000		
Design & Construction	\$584,000					
Land Acquisition	\$35,000					
Total Cost/lb Net Reduction	TN	\$8,000	TP	\$71,000	TSS	\$80

Proposed SWMF Description: A level 1 wet pond requires ~74,000 CF of treatment volume. The designed retrofit proposes over 78,000 CF. The existing southern berm is moved ~65 ft south to increase pond volume. Water entering through the forebay is diverted south before entering the main pond, this allows for increased flow path meeting the 2:1 length to width ratio requirement. Additional permits may be required for construction in a flood zone. Soil coring for shallow substrate should be completed prior to further design.

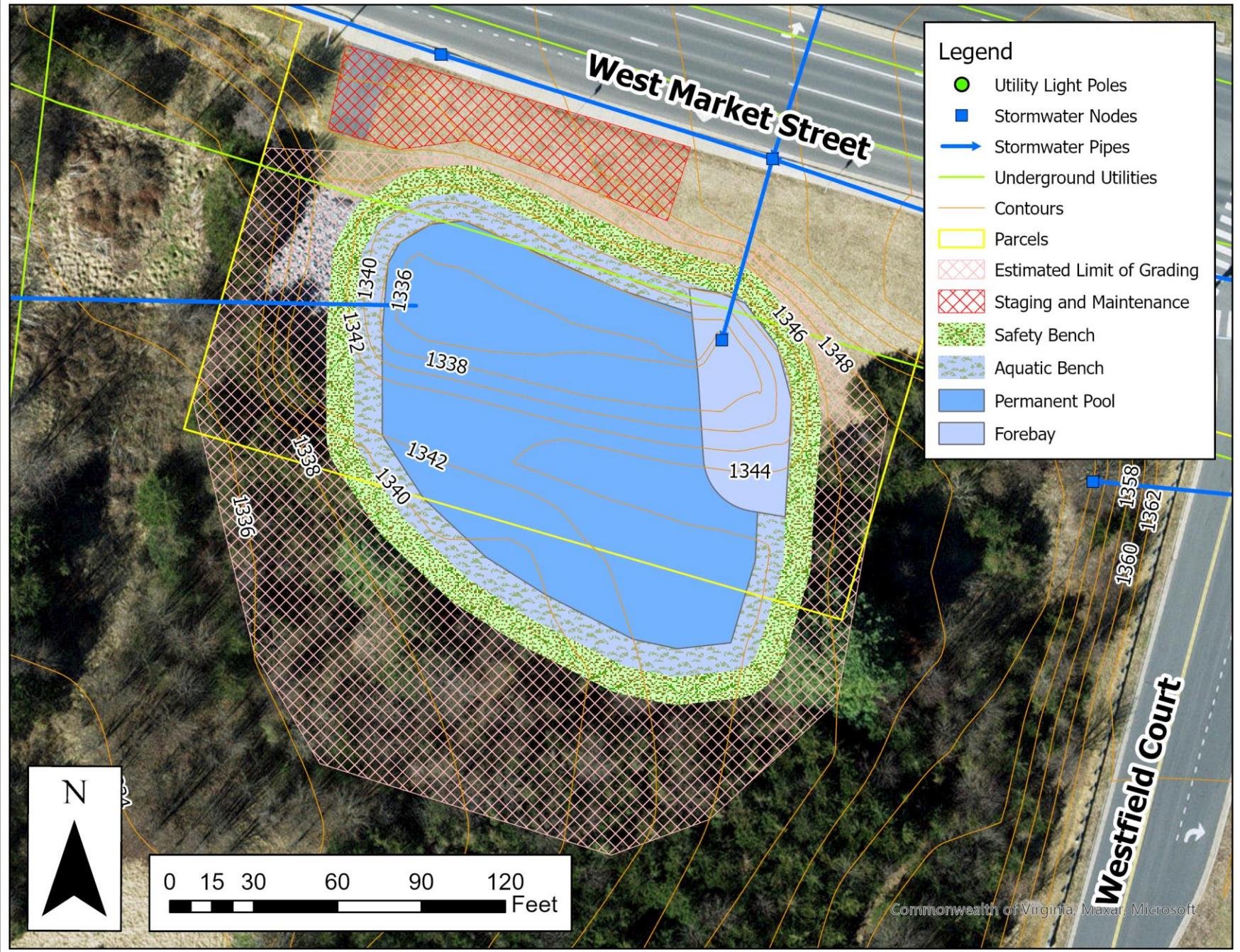


116_A_1_124_B_1_2_BMP1 Project Area

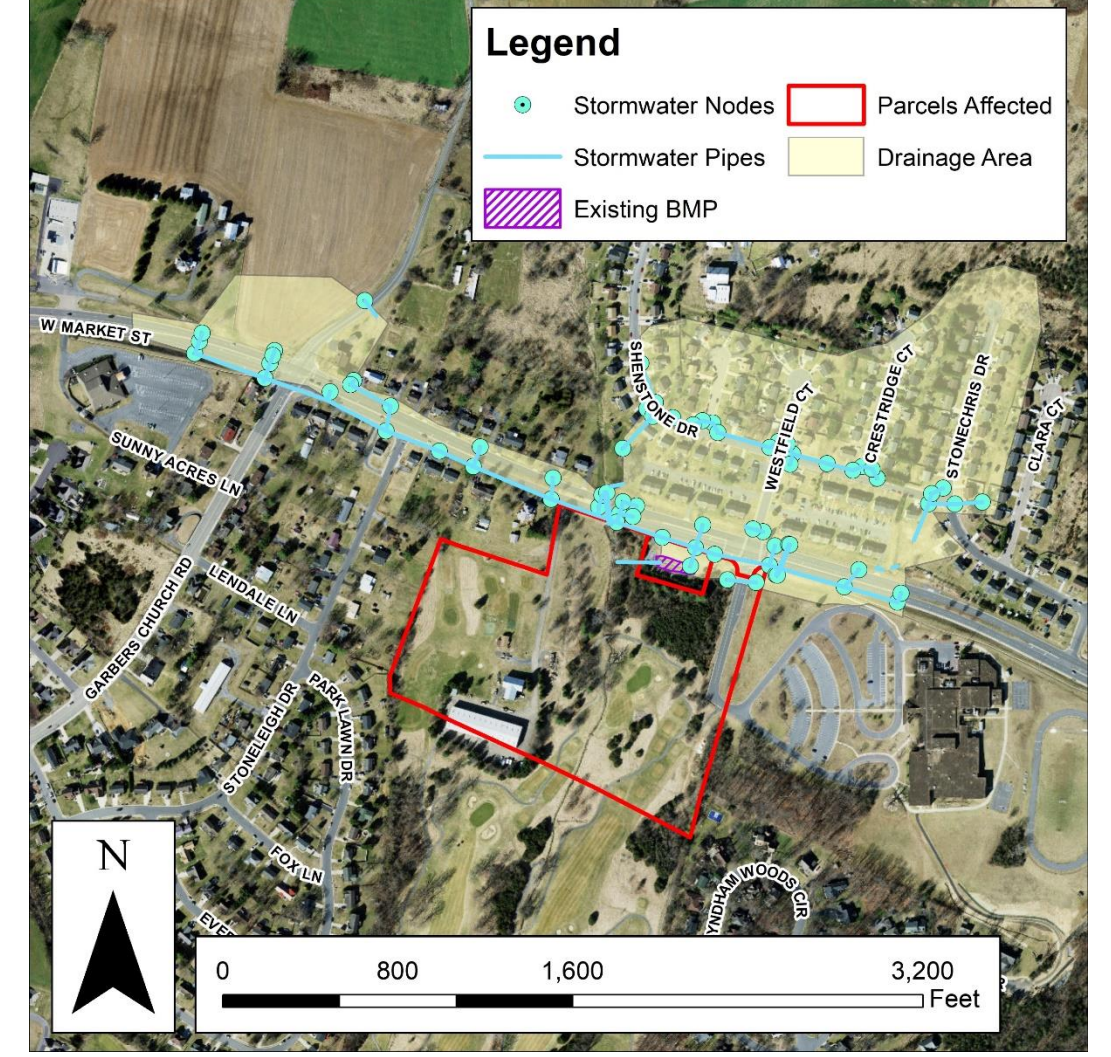


Vicinity Map

*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics, particularly depending on vertical depth available. Graphical site rendering presented below is for illustrative purposes only.



Existing Site overall photo (left) and photo from within the existing BMP (right)



116_A_1_124_B_1_2_BMP1 STORM WATER MANAGEMENT FACILITY:
 RETROFIT DETENTION POND TO WET POND
 CONCEPTUAL DESIGN: WATER QUALITY IMPROVEMENT STRATEGY RETROFIT



Current Site Location and Watershed Characteristics

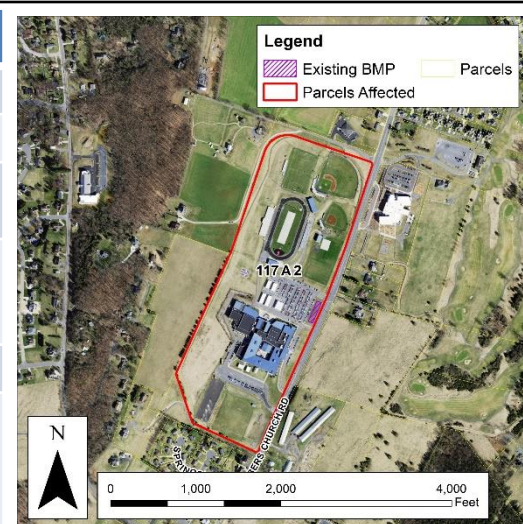
Date of Field Visit	09/05/2024	Latitude	38.454223°			
Major Watershed	Cooks Creek	Longitude	- 78.855277°			
Existing Land Use	None	Landowner	City Property			
Street Address	938 Garbers Church Rd					
Drainage Area, Acres	6.2	Total Imperviousness	82%			
Load lbs/yr	TN	97	TP	9	TSS	6,136

Existing Site Description: Stormwater drains from the parking lot to stormwater pipes that flow to an existing drainage basin with visible signs of erosion. The existing slope is between 3-10% and averages 7%. The distance between parking lot curb and sidewalk is ~78 ft. Site is not in a flood zone. The City currently receives no TMDL credit for this site.

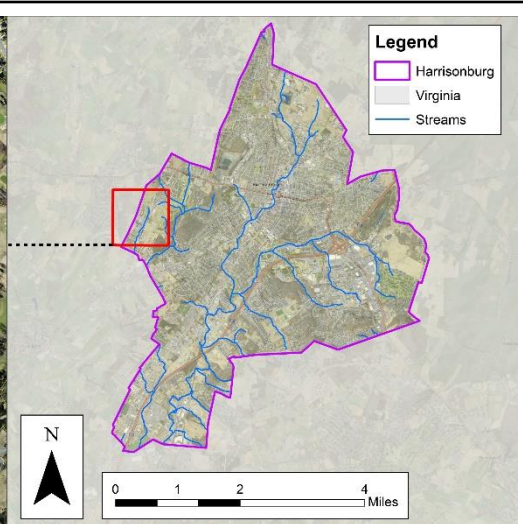
Design Characteristics*

Proposed SWMF Type	Vegetated Filter Strip					
BMP Footprint, Acres	0.4	Disturbed Area	0.6			
Anticipated Net Load Reduction lbs/yr	TN	58	TP	6	TSS	4,596
Annual O&M	\$1,000	Total Cost (25 years O&M)	\$64,000			
Design & Construction	\$39,000					
Land Acquisition	\$0					
Total Cost/lb Net Reduction	TN	\$4,000	TP	\$32,000	TSS	\$45

Proposed SWMF Description: A 75 ft vegetated filter strip with gravel water spreading diaphragm will convey parking lot runoff into sheet flow for stormwater treatment. A vegetated, permeable berm is located at the base of the SWMF to allow minimal water pooling. The grade will have to be filled to a maximum of 6% and evened out for lateral flow through the filter strip. Existing sign may need to be relocated.

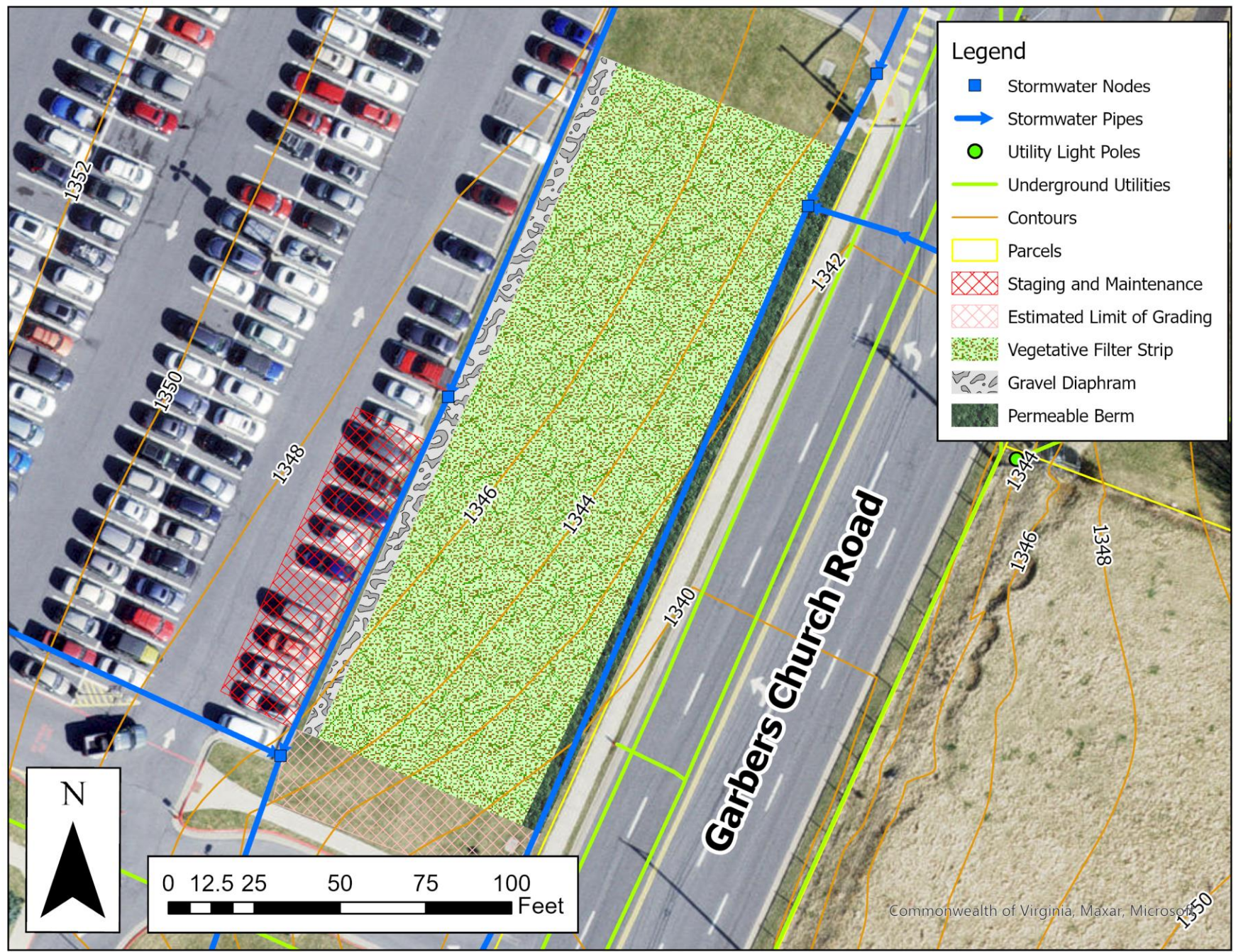


037_A_11 Project Area

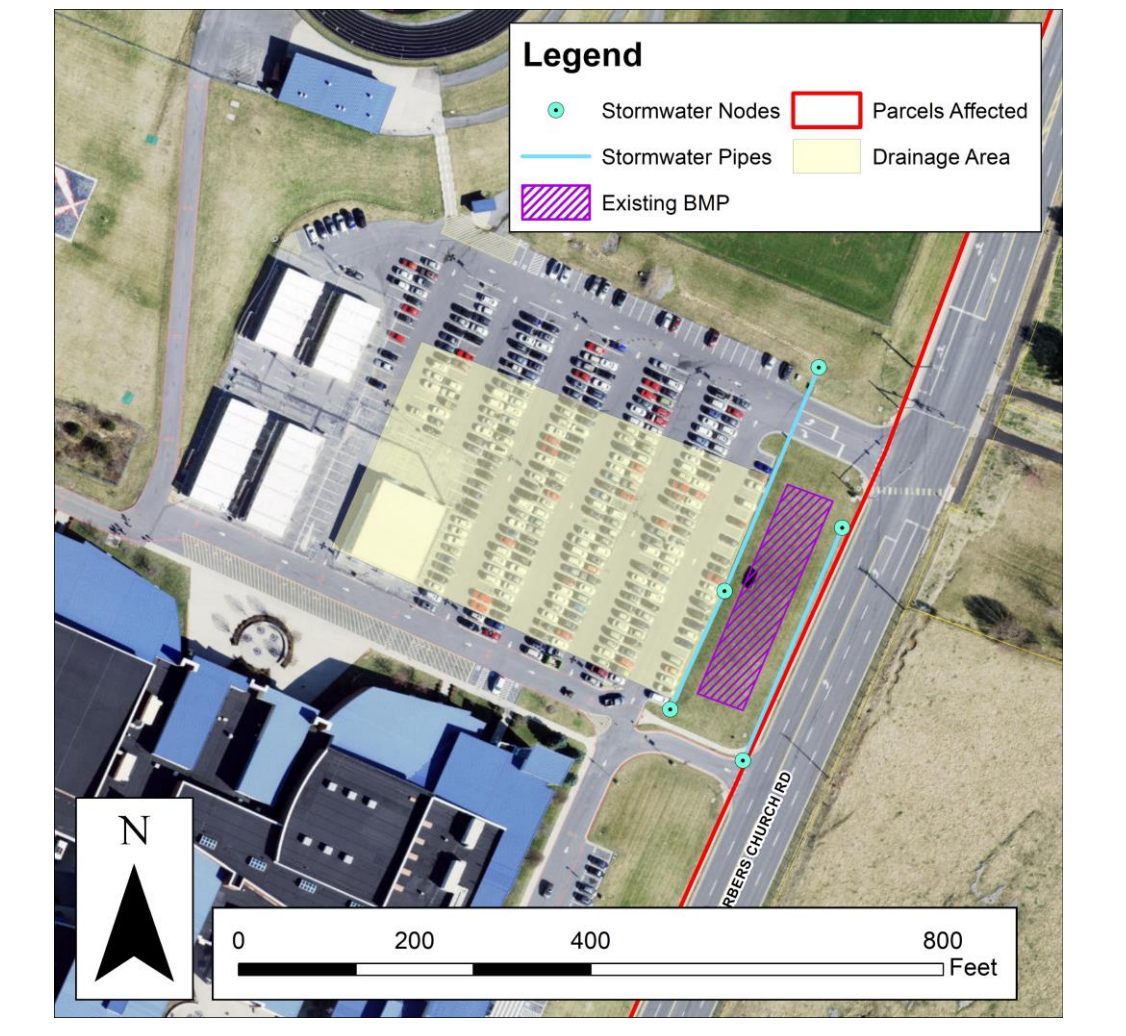


Vicinity Map

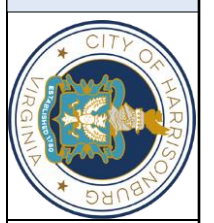
*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics, particularly depending on vertical depth available. Graphical site rendering presented below is for illustrative purposes only.



Existing Site overall photo looking north (left) and photo of possible conflict image (right)



**117_A_2 BMP2 STORM WATER MANAGEMENT FACILITY:
 NEW BUILD: VEGETATED FILTER STRIP
 CONCEPTUAL DESIGN: WATER QUALITY IMPROVEMENT STRATEGY NEW BUILD**



Current Site Location and Watershed Characteristics

Date of Field Visit	09/05/2024	Latitude	38.451865°
Major Watershed	Blacks Run	Longitude	-78.884734°
Existing Land Use	Stream	Landowner	City Property
Street Address	1369 Central Avenue, Harrisonburg, VA		
Drainage Area, Acres	84	Stream Length, ft	1,058

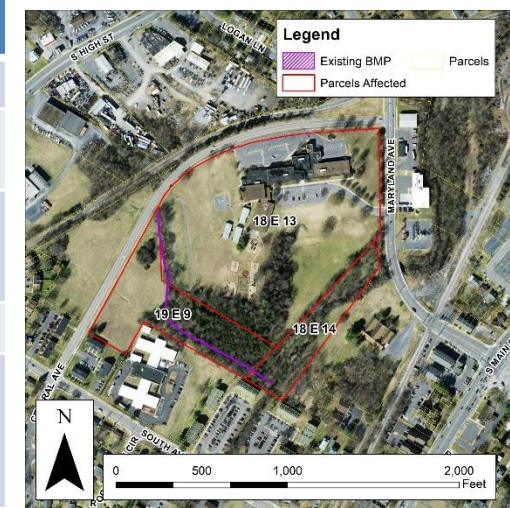
Design Characteristics*

Proposed SWMF Type	Stream Restoration					
Anticipated Net Load Reduction lbs/yr**	TN	314	TP	137	TSS	44,279
	Annual O&M	\$4,000	Total Cost (25 years O&M)	\$868,000		
Design & Construction	\$650,000					
	Land Acquisition	\$118,000				
Cost/lb Net Reduction	TN	\$3,000	TP	\$7,000	TSS	\$20

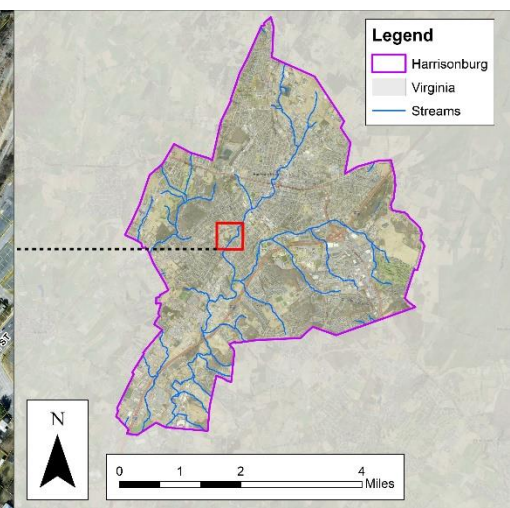
Proposed SWMF Description: Restore existing channel by reconnecting channel flow with the flood overbank area, install instream structures to control stream grade, and implement areas of riparian vegetation. Design should accommodate sewer crossing. Restoration may impact walking path near school (may need to be relocated).

Existing Site Description: An existing stream in the Blacks Run watershed on City property behind the Keister Elementary School. The City currently receives minimal TMDL credit for this BMP. Existing sewer line crossing at midpoint of stream. The lower third of the stream reach has not been validated by field observations (conflicts with existing topographic information). Stream location conflicts with topographical contours in downstream 1/2 of reach and should be validated prior to design development.

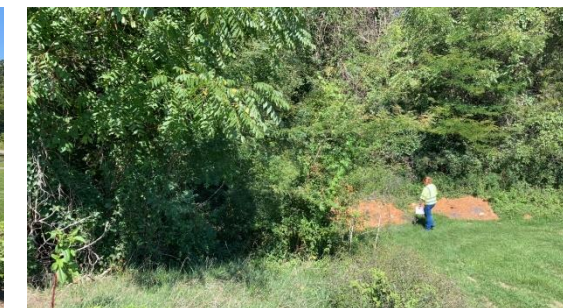
*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics. Graphical site rendering presented below is for illustrative purposes only.
 **Reductions are based on recent averages from previous stream restoration projects in Harrisonburg, VA. Actual reductions will depend on existing erosion conditions.



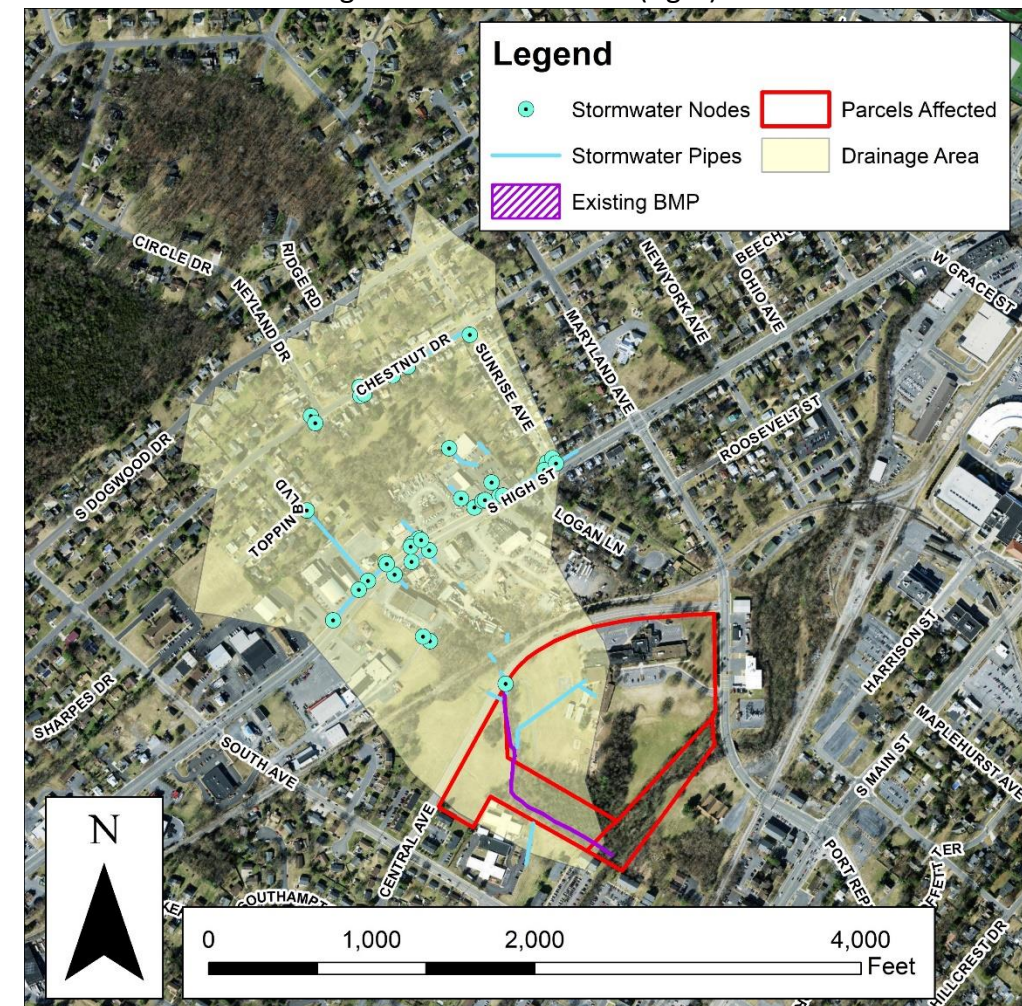
HB_6 Project Area



Vicinity Map



Existing Site overall photo from school SW over track (left) and photo of over growth around stream (right)

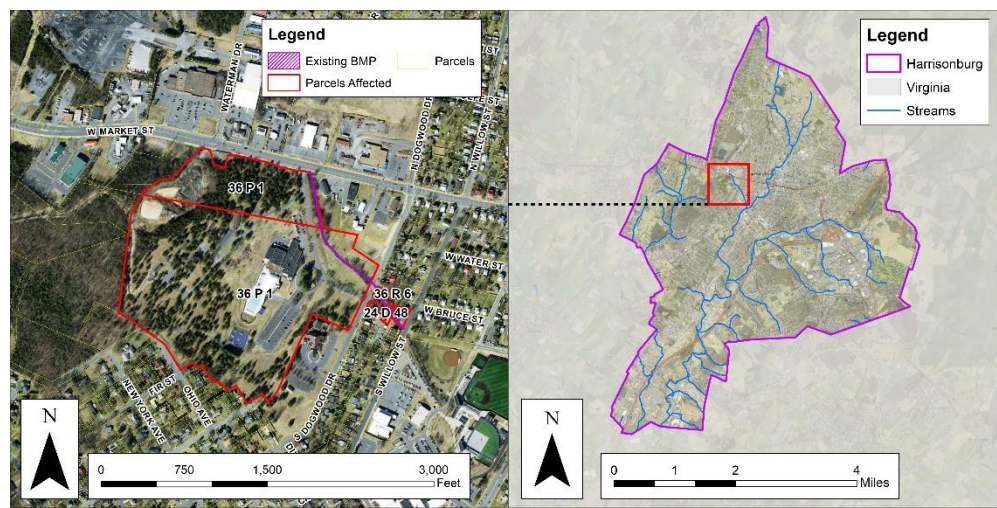


Current Site Location and Watershed Characteristics			
Date of Field Visit	07/18/2024	Latitude	38.445045°
Major Watershed	Cooks Creek	Longitude	-78.897939°
Existing Land Use	Stream	Landowner	City Property and other private properties
Street Address	305 S Dogwood Dr		
Drainage Area, Acres	826	Stream Length, ft	1,346

Design Characteristics*						
Proposed SWMF Type			Stream Restoration			
Anticipated Net Load Reduction lbs/yr	TN	366	TP	171	TSS	53,574
Annual O&M	\$5,000		Total Cost (25 years O&M)	\$1,457,000		
Design & Construction	\$1,032,000					
Land Acquisition	\$299,000					
Cost/lb Net Reduction	TN	\$4,000	TP	\$9,000	TSS	\$27

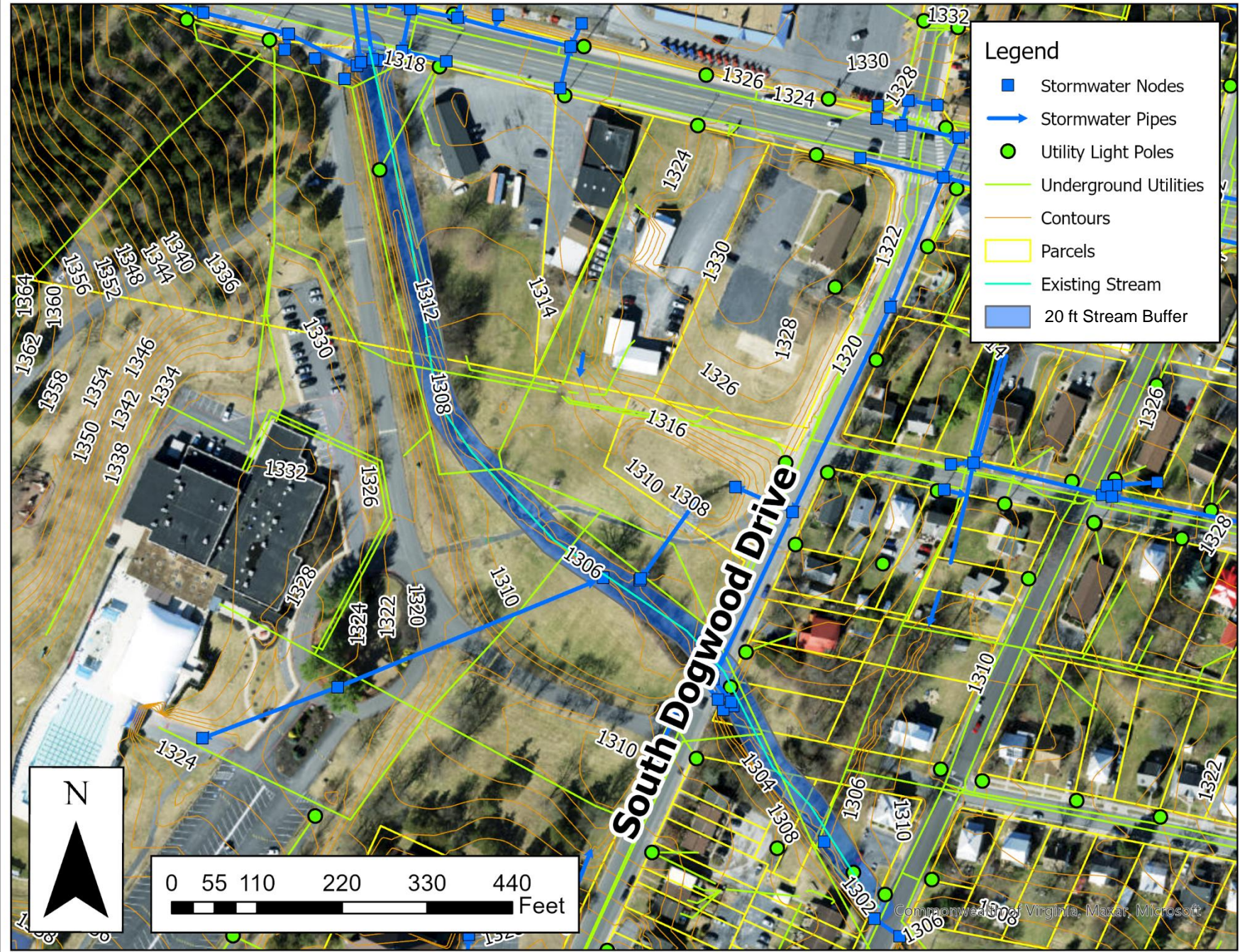
Proposed SWMF Description: Restore existing channel by reconnecting channel flow with the flood overbank area, install instream structures to control stream grade, and implement areas of riparian vegetation. Design should accommodate utility crossings. Easement acquisition is required in 7 private parcels largely downstream of Dogwood Drive. If this is not possible, that section of stream reach will be removed from the design and pollutant reduction numbers will be reevaluated.

*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics. Graphical site rendering presented below is for illustrative purposes only.
 **Reductions are based on recent averages from previous stream restoration projects in Harrisonburg, VA. Actual reductions will depend on existing erosion conditions.

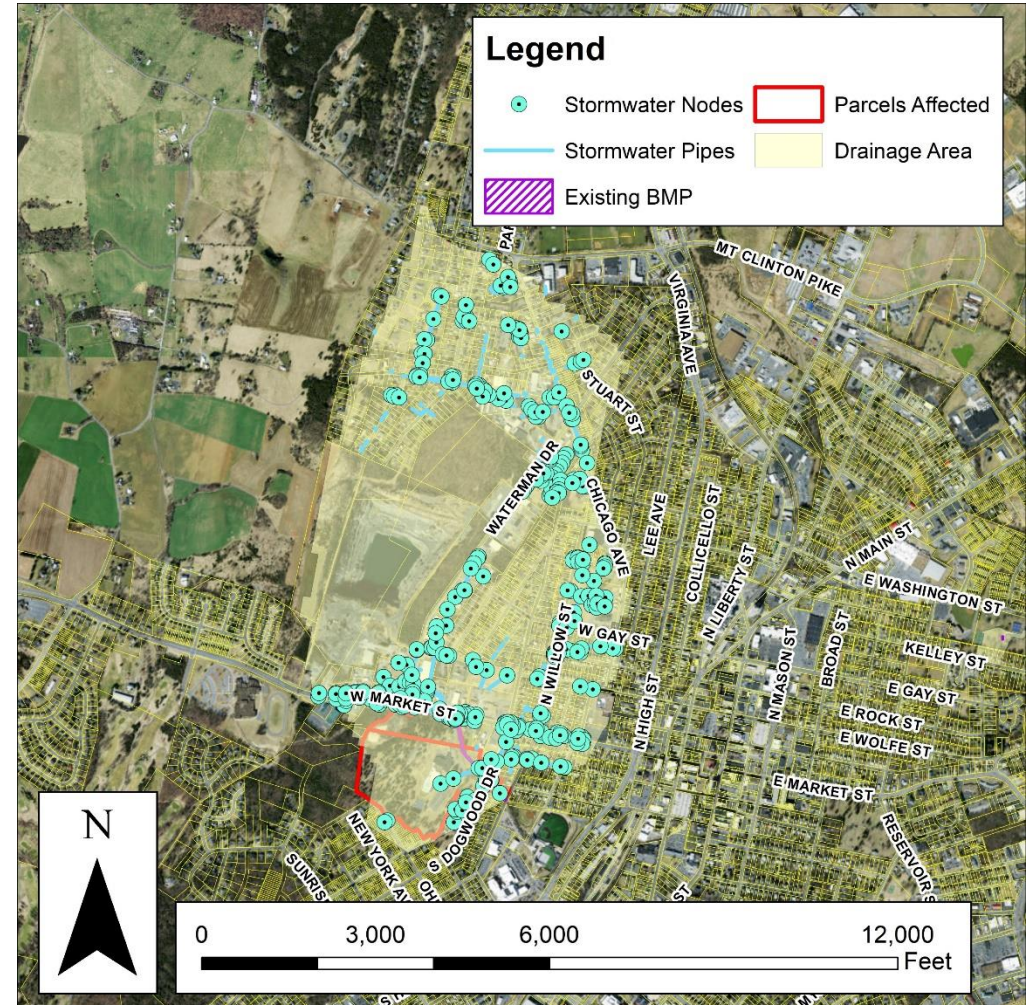


Project Area

Vicinity Map



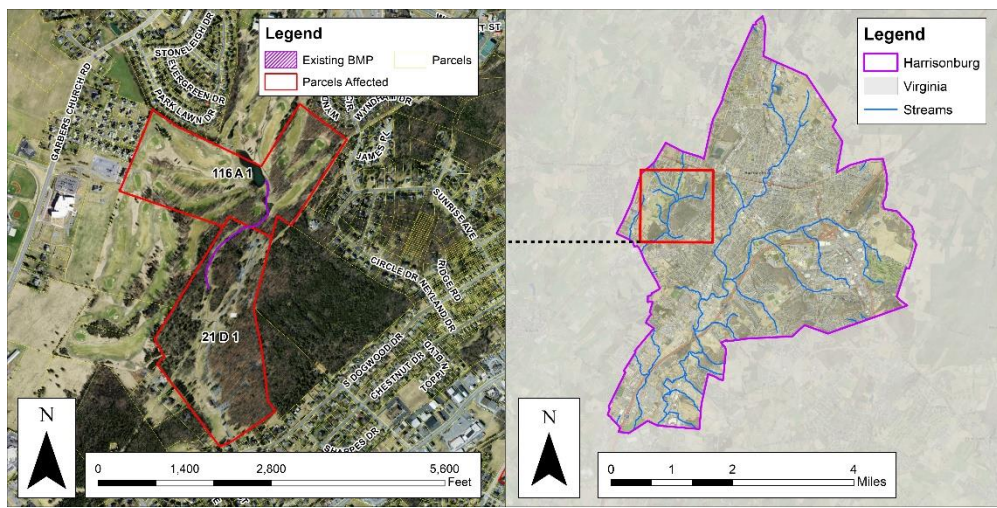
Existing Site photos demonstrating existing bank erosion and vegetation overgrowth along stream





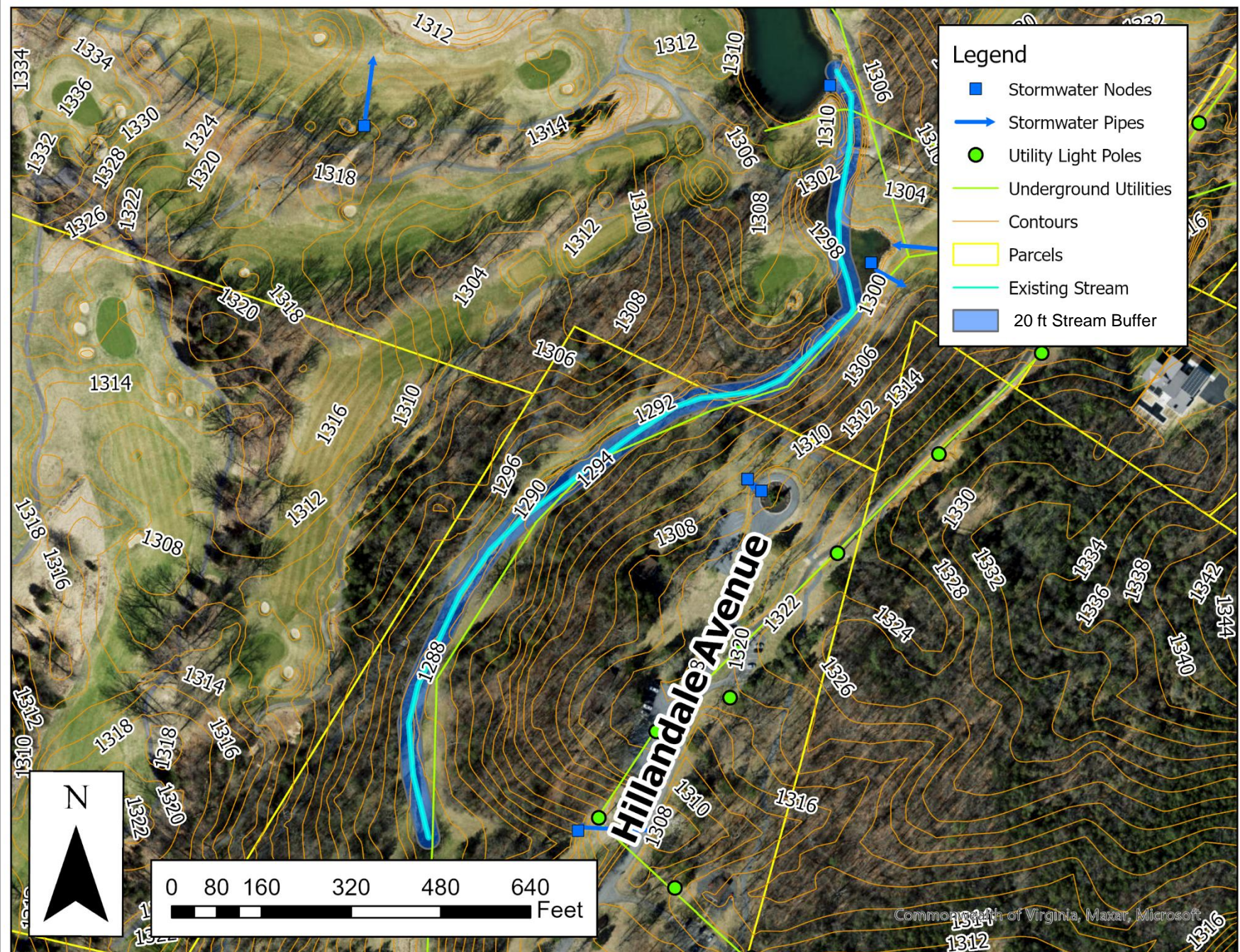
Current Site Location and Watershed Characteristics				Design Characteristics*				
Date of Field Visit	07/18/2024	Latitude	38.445045°	Proposed SWMF Type			Stream Restoration	
Major Watershed	Cooks Creek	Longitude	-78.897939°	Anticipated Net Load Reduction lbs/yr**	TN 450	TP 224	TSS 68,315	
Existing Land Use	Stream	Landowner	City Property	Annual O&M	\$6,000	Total Cost (25 years O&M)	\$1,254,000	
Street Address	711 Hillandale Ave			Design & Construction	\$1,104,000	Land Acquisition	\$0	
Drainage Area, Acres	612	Stream Length, ft	1,783	Cost/lb Net Reduction	TN \$3,000	TP \$6,000	TSS \$18	
Existing Site Description: An existing stream in the Cooks Creek watershed on City property that runs along the Heritage Oaks golf course. Most of the stream runs along a sewer line and there is at least one underground utility crossing at the north end. Evidence of bank erosion, vegetative overgrowth, and an unprotected culvert were found onsite. Regulatory floodway.				Proposed SWMF Description: Restore existing channel by reconnecting channel flow with the flood overbank area, install instream structures to control stream grade, and implement areas of riparian vegetation. Design should accommodate any utility crossings or conflicts. Restoration may impact access to golf holes/path (may need to be relocated).				

*Design characteristics are based on field observations and GIS data resources available at the time of conceptual design analysis. Final design characteristics will depend on a detailed site survey, geotechnical study, and could vary from conceptual design characteristics. Graphical site rendering presented below is for illustrative purposes only.
 **Reductions are based on recent averages from previous stream restoration projects in Harrisonburg, VA. Actual reductions will depend on existing erosion conditions.

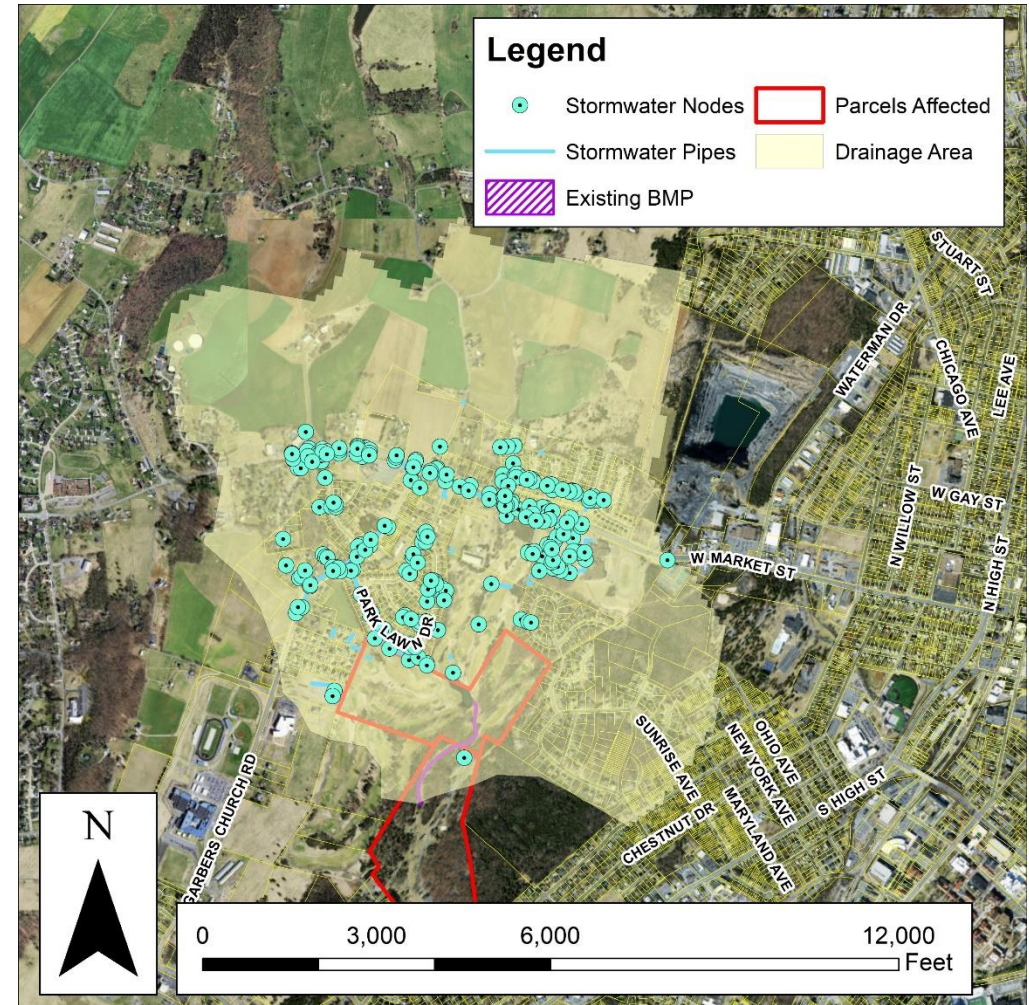


Project Area

Vicinity Map



Existing Site photos demonstrating existing bank erosion and vegetation overgrowth as well as an unprotected culvert (right)



Commonwealth of Virginia, Maxar, Microsoft

STORMWATER PROGRAM UPDATES

May 26, 2026



Stormwater Improvement Plan (SWIP) Update



Background

- Original SWIP was developed in 2017
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Stream Restoration



Bioretention/
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Wetlands



Wet Pond



Filter Strip



Bioretention/
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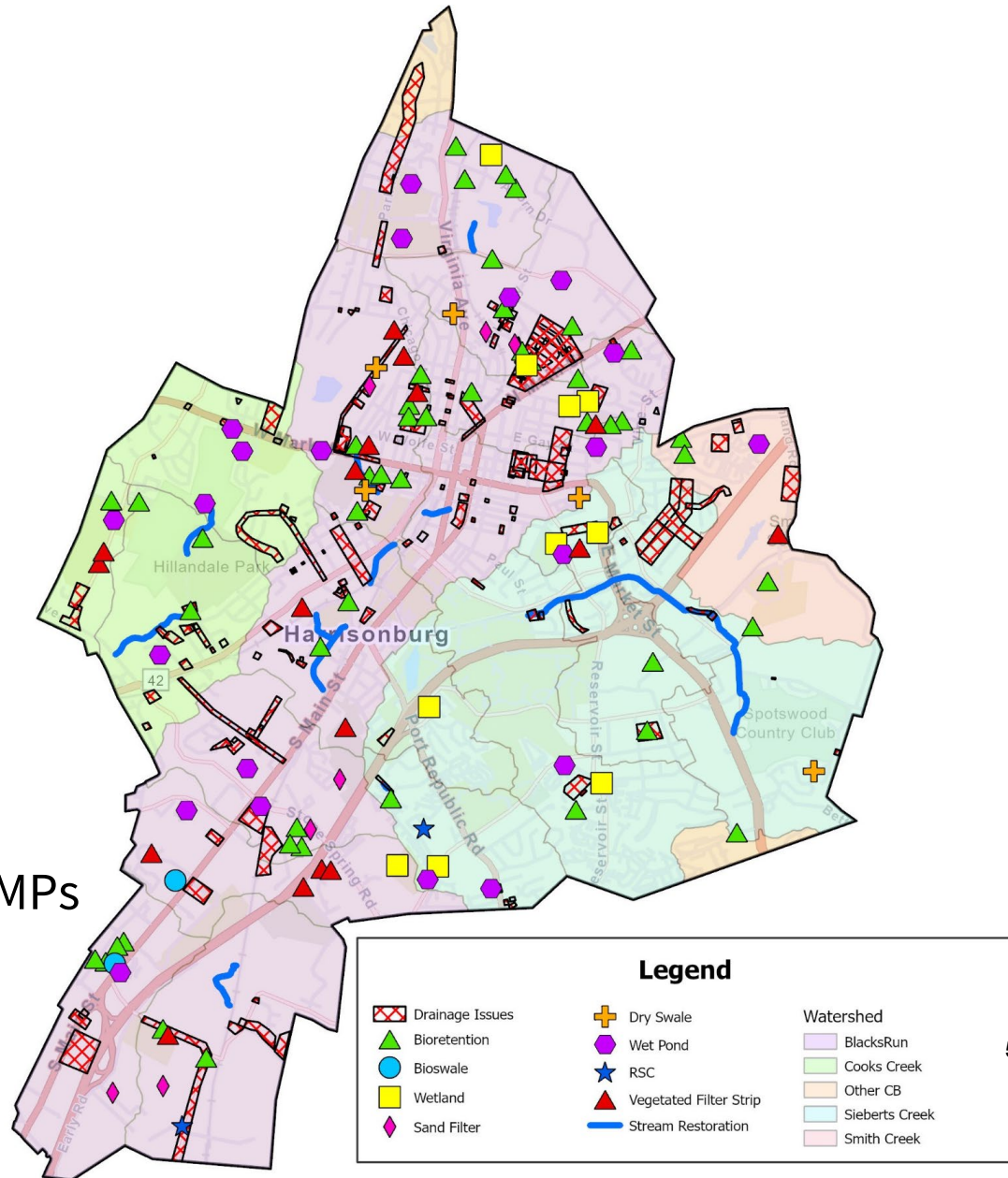


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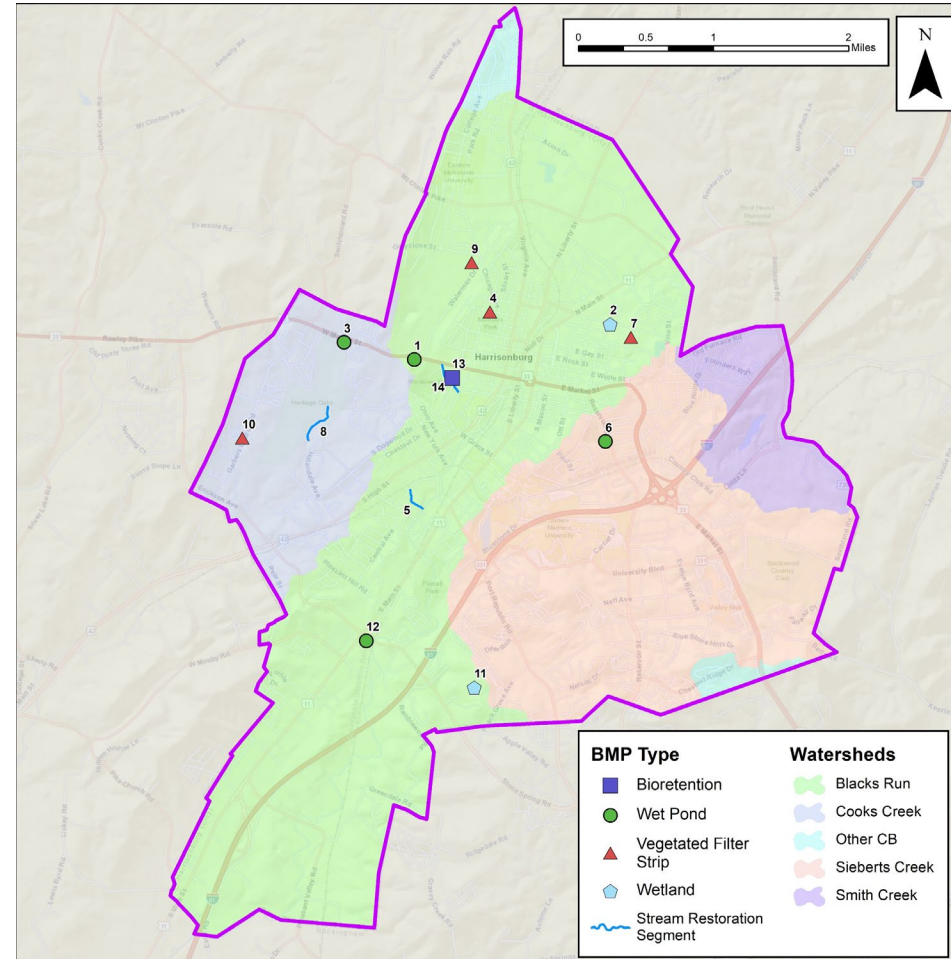
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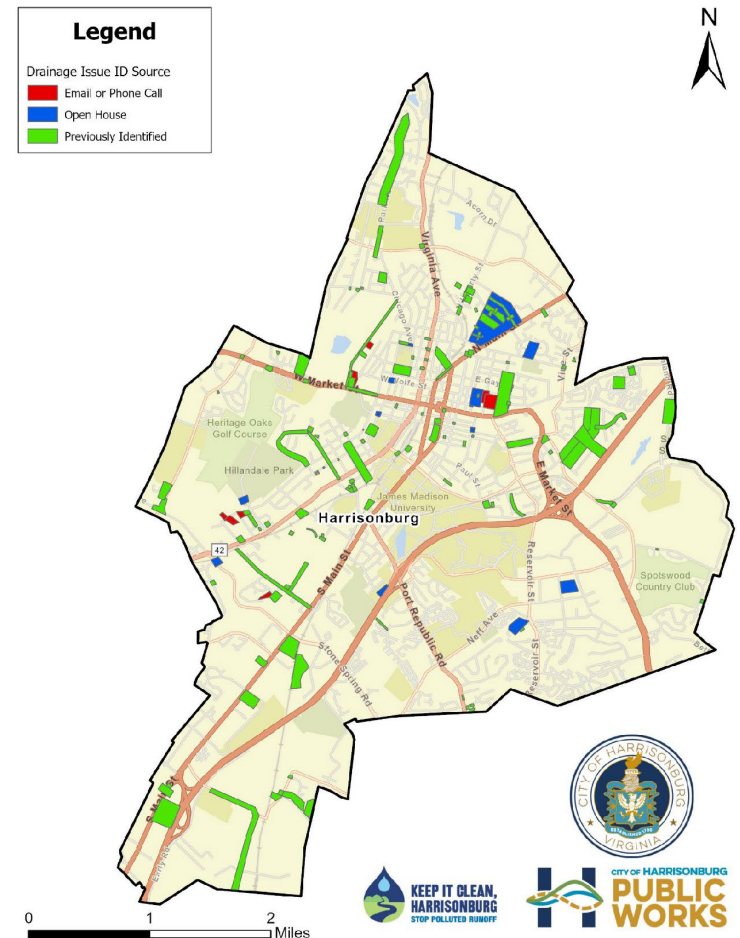


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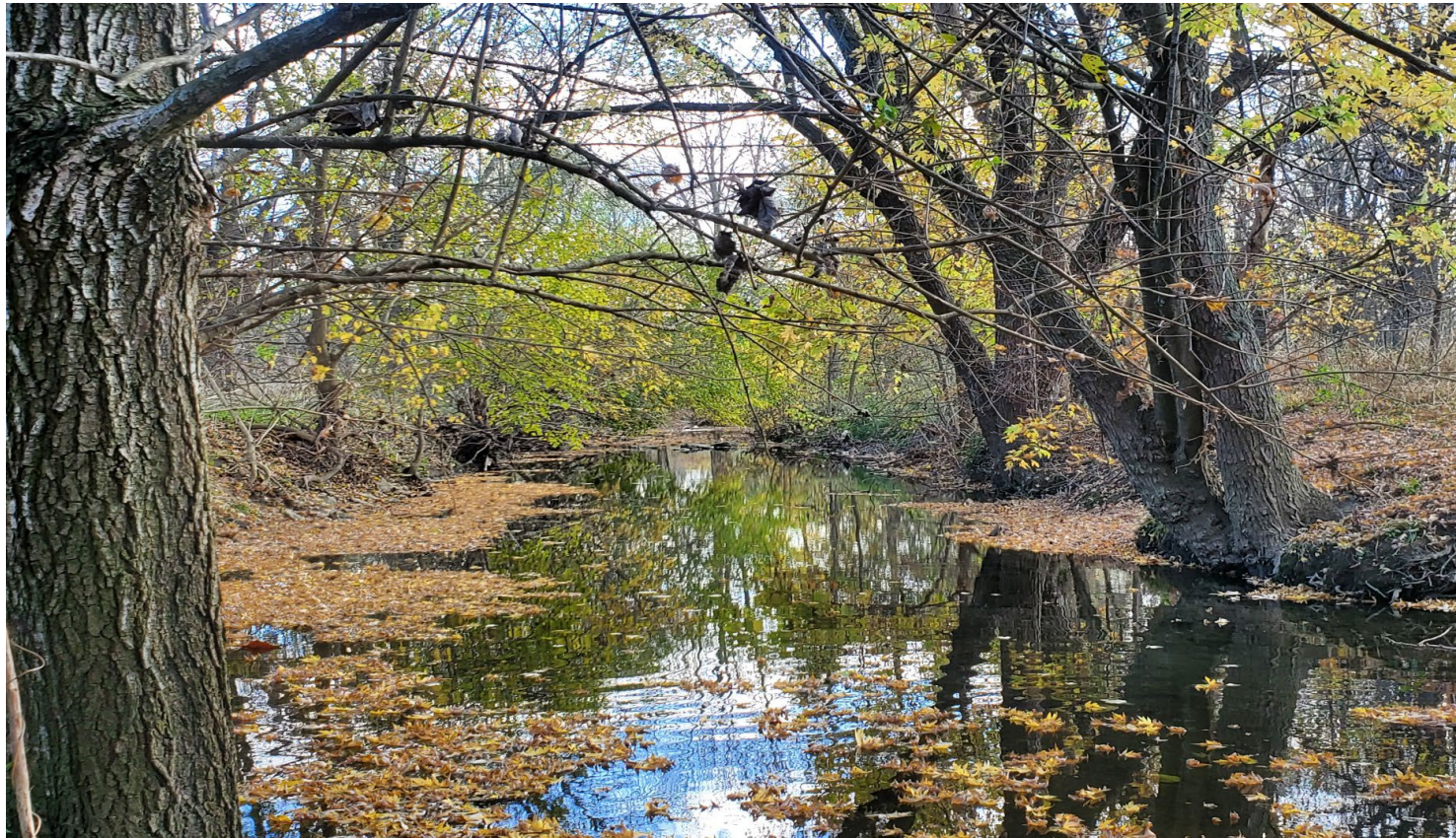


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- Map displays drainage issues identified





Blacks Run & Cooks Creek TMDL Update



TMDL Development Background



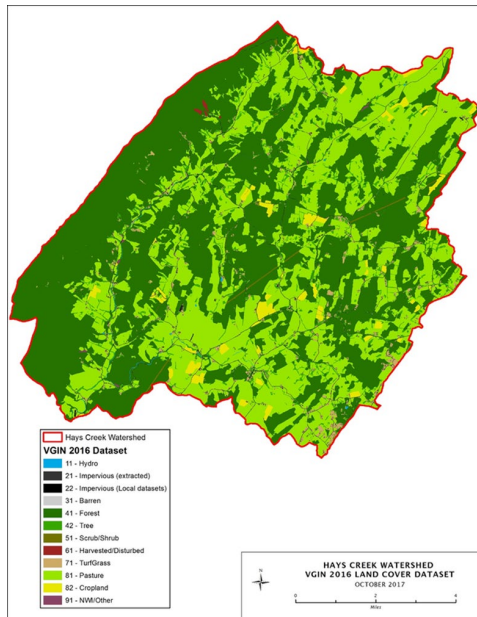
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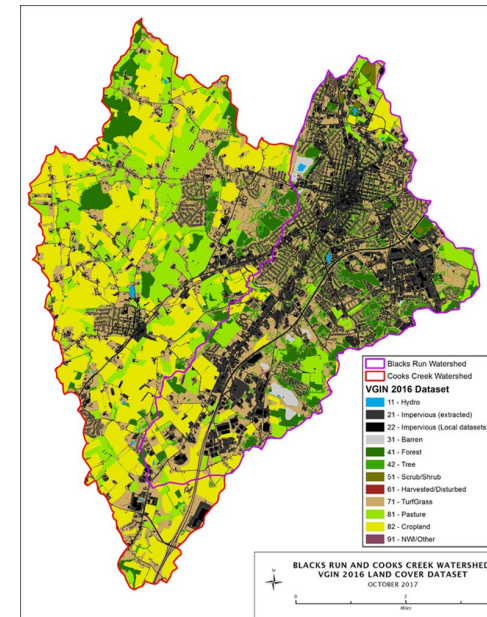
Hays Creek

- 690 acres of developed/urban land cover (1.4% of watershed)



Blacks Run & Cooks Creek

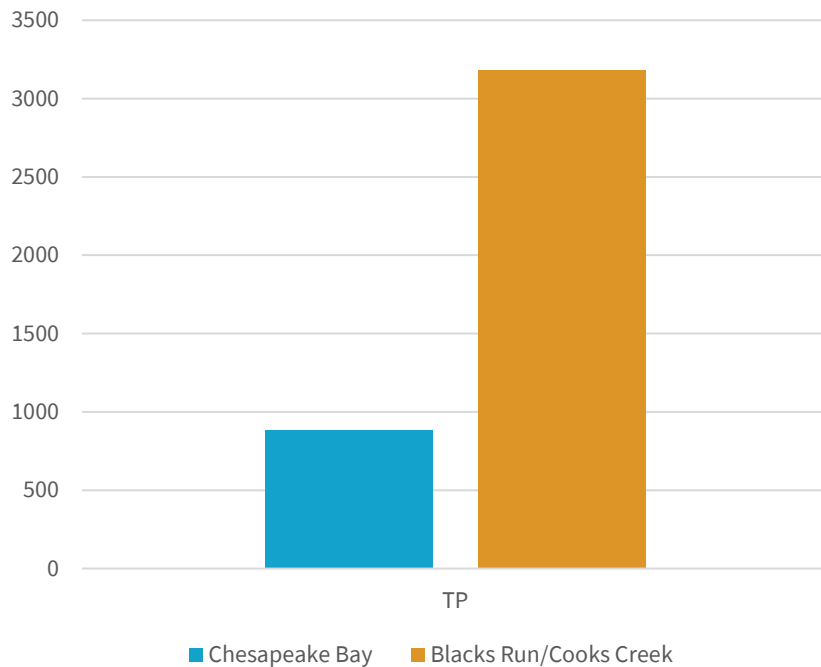
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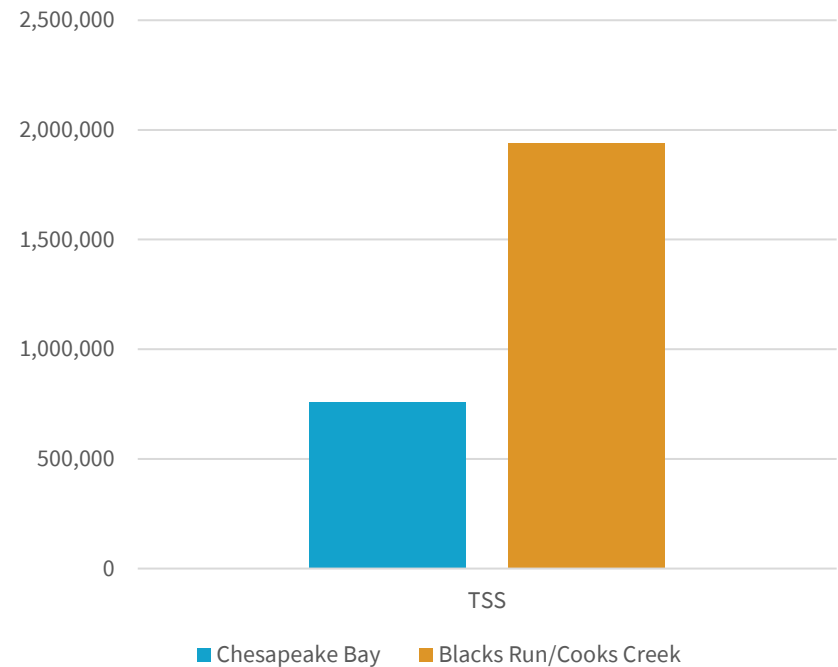
Pollutant Reduction Targets



Phosphorus Target Comparison



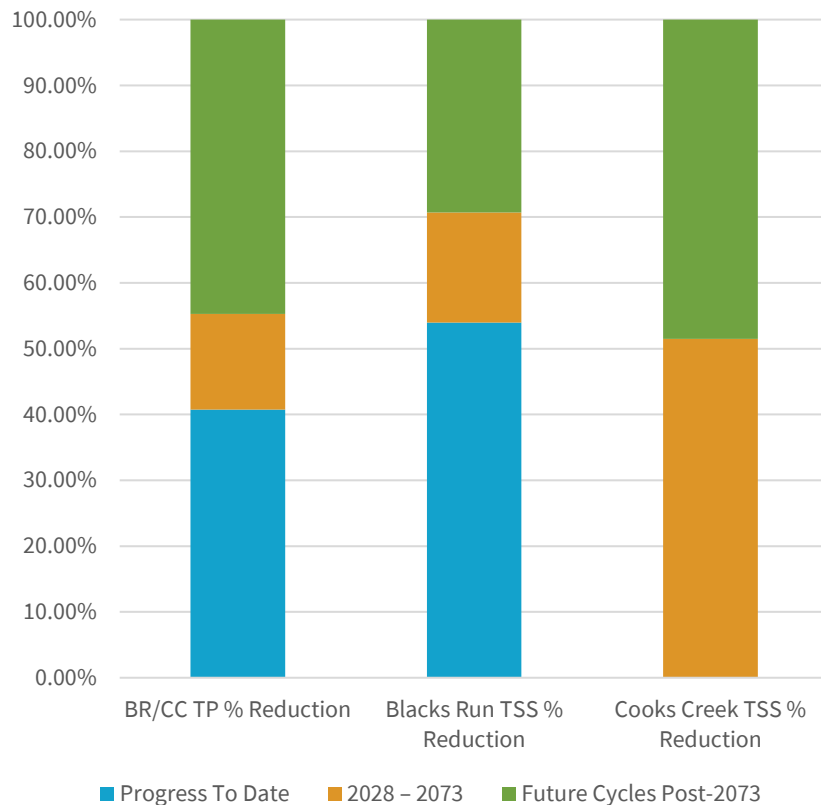
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Progress and Phased Targets



Local TMDL % Reductions



- Proposed Plan
 - Rolling schedule through 2073
 - Uses 5-year implementation targets
 - Allows adjustment as projects, funding, and site conditions change
- Full compliance will require work beyond 2073
- Costs and site constraints limit project pace
- Plan focuses on practicable progress



HCPS Stormwater MOU





HCPS Stormwater MOU

2023-2028 MS4 Permit Changes

- City owned BMP maintenance schedules must follow a pre-determined timeline based on priority definitions
- HEC and HCPS are covered under City's MS4 permit
- HPW staff conduct annual inspections of all City owned BMP

Department	BMPs
City Schools	20
Fire Department	3
HEC	2
Parks and Recreation	8
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HDPT	3
Grand Total	87



HCPS Stormwater MOU

Low Priority

- Minor issues that do not immediately affect the functionality or efficiency of the BMP
- Issues that typically can be resolved during routine maintenance without requiring specialized intervention
- Examples: Minor sediment accumulation, small amounts of debris or litter, slight erosion in non-critical areas, vegetation that needs minor maintenance, small patches of bare soil needing reseeding, loose or missing grates or covers, faded signage that is still readable
- Timeline for Action: Within 12 months



HCPS Stormwater MOU

Moderate Priority

- Issues that may begin to impact the BMP's performance if not addressed in a timely manner.
- Problems that require more attention than routine maintenance but do not pose an immediate threat.
- Examples: Moderate sediment build-up affecting flow, vegetation overgrowth impacting water flow or access, clogged inlets or outlets that reduce flow efficiency, noticeable erosion that could worsen if left unattended, invasive species starting to establish
- Timeline for Action: 1 – 6 months



HCPS Stormwater MOU

Critical Priority

- Critical issues that significantly affect the BMP's performance or pose a risk to public safety and the environment.
- Problems that require immediate attention and potential involvement of specialized personnel or contractors.
- Examples: Severe erosion or structural damage, significant sedimentation blocking water flow, contamination or pollutant discharge, malfunctioning critical components that compromise BMP operation, structural failure or major cracks in critical areas, significant invasive species presence, undermined or collapsed embankments, sinkholes
- Timeline for Action: 1 – 3 months



HCPS Stormwater MOU

HCPS BMP Maintenance Problems

- ~50% of HCPS BMPs were built under the old quantity only regulations (1990s/early 2000s)
- Historically maintenance on HCPS BMPs has been limited and many BMPs now look more like small patches of forests
- ~50% of HCPS BMPs are identified as needing moderate or critical priority repairs
- HCPS lacks maintenance staff and equipment needed for BMP maintenance- not their area of expertise

HCPS BMP Maintenance Proposed Solution

- HPW can manage staff and equipment needed for BMP maintenance
- Meeting local TMDL requirements where it's advantageous to have HPW staff evaluate the potential to upsize BMPs while doing repairs



HCPS Stormwater MOU

MOU Items

- HCPS contributes financially to support the City maintaining stormwater infrastructure located on HCPS property
- HCPS allows access for inspecting and maintaining stormwater infrastructure
- HPW will identify potential opportunities for upsizing or building new BMPs to meet TMDL requirements. HCPS will work with the City to allow construction when land is not being utilized otherwise
- HPW will perform non-routine maintenance items (e.g. regrading, replacing pipes)
- HCPS will continue routine maintenance item (e.g. mowing)



City of Harrisonburg

City Hall
409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ID 26-177, **Version:** 1

Subject:

Update on the Stormwater Program

Presented By: Keith Thomas, Sustainability and Environmental Manager

The Public Works Department will present an update on the Stormwater Program. No action is needed by Council.



HARRISONBURG | VA
FRIENDLY BY NATURE



May 26, 2026, City Council Meeting

Title

Stormwater Program Updates – Keith Thomas, Public Works

Summary

The Public Works Department will present an update on the Stormwater Program. No action is needed by Council.

Recommendation

N/A

Fiscal Impact

N/A

Context & Analysis

Blacks Run and Cooks Creek TMDL

Since the early 2000s, Blacks Run and Cooks Creek had a Total Maximum Daily Load (TMDL), or pollution diet, in place. In 2019 the Virginia Department of Environmental Quality (DEQ) revised the Blacks Run and Cooks Creek TMDL to assign a Waste Load Allocation (WLA) to the City. As part of our MS4 permit, we are required to develop an Action Plan to tell DEQ how we plan to meet the WLA. Pursuant to Part II.B.3 of the MS4 General Permit, the City proposes to implement the TMDL Action Plan in phases over multiple permit cycles using an adaptive iterative approach, with progress tracked annually through the MS4 Annual Report and BMPs adjusted as needed to meet applicable WLAs. Based on Tetra Tech’s 2024 evaluation, full implementation would take over 300 years and is well beyond a practicable timeframe to create an actionable plan with any degree of certainty. The plan developed uses a rolling 15-year schedule with achievable 5-year targets consistent with the Maximum Extent Practicable (MEP) standard. Several practical constraints shaped the proposed implementation timeline. First, stormwater projects in the Shenandoah Valley are more difficult and expensive to build because of karst conditions and shallow bedrock. In recent years, the City has found that these projects can cost between \$83,000 and \$150,000 per pound of phosphorus removed, well above the typical upper range of \$15,000 to \$20,000 per pound considered cost-effective. Second, finding suitable locations for projects in

developed urban areas is challenging because vacant land is limited, often needed for other priorities such as housing, and can be too costly or competitive to acquire.

Harrisonburg City Public Schools Stormwater Agreement

The City of Harrisonburg is required under the General VPDES Permit for Small Municipal Separate Storm Sewer Systems (MS4) to inspect and maintain post-construction stormwater management facilities in satisfactory operational condition. This requirement also applies to Harrisonburg City Public Schools (HCPS) and Harrisonburg Electric Commission (HEC), as they are included under the City’s MS4 permit.

Public Works stormwater staff conduct inspections of all City-owned BMPs, typically from November to January, and also after significant rain events. While Public Works staff handles inspections, the responsibility for completing any necessary maintenance traditionally lies with the respective departments and operators.

Department/Operator	# of BMPs
Public Works	46
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In the 2023 – 2028 permit cycle, the Virginia Department of Environmental Quality (DEQ) established new definitions and expectations related to BMP maintenance such that failure to address maintenance items within a specified timeframe identified by Public Works stormwater staff could result in the City becoming non-compliant with our permit. During this transition to the new requirements, it became apparent to staff that the stormwater practices located on Harrisonburg City Public School property would be the most challenging. Most of the BMPs on HCPS property were constructed in the 1990s and early 2000s, and historically these facilities received little to no maintenance. As a result, after 20 to 30 years, many now require major renovation.

HCPS staff have already begun some maintenance activities, but the larger repairs needed for these BMPs are beyond the scope of their typical work. Public Works also identified an opportunity to evaluate whether these repairs could be combined with BMP expansions or upgrades that would help the City meet its local TMDL requirements. For that reason, Public Works recommends assuming responsibility for non-routine BMP maintenance on HCPS property. Under the proposed

Memorandum of Understanding, HCPS would remain responsible for routine maintenance, such as mowing, and would contribute funding toward the City's non-routine maintenance costs. This approach would also allow Public Works to pursue future BMP improvements on school property, where such improvement would not interfere with school operations.

Options

N/A

Attachments

1. Presentation

STORMWATER PROGRAM UPDATES

May 26, 2026



Stormwater Improvement Plan (SWIP) Update



Background

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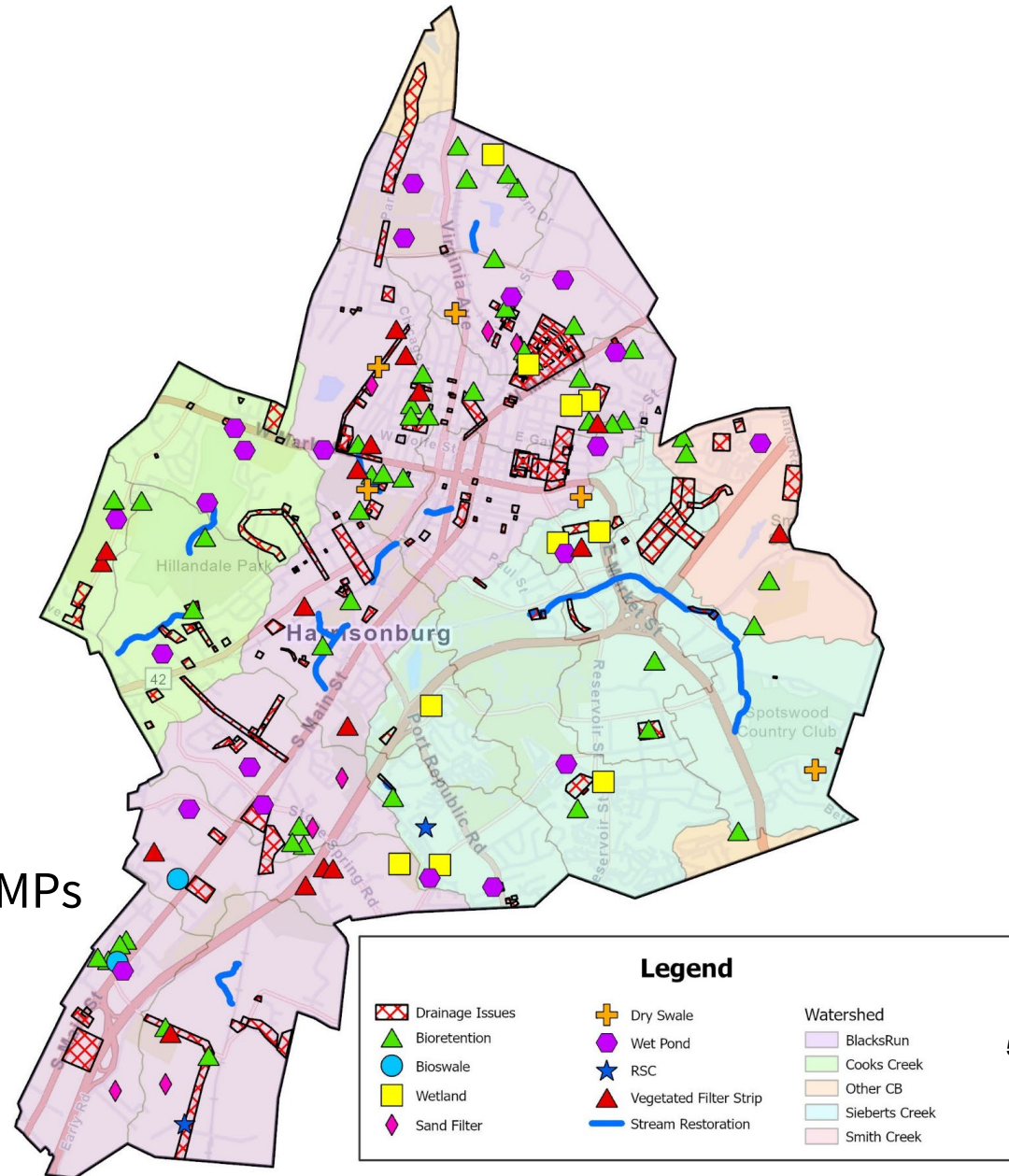


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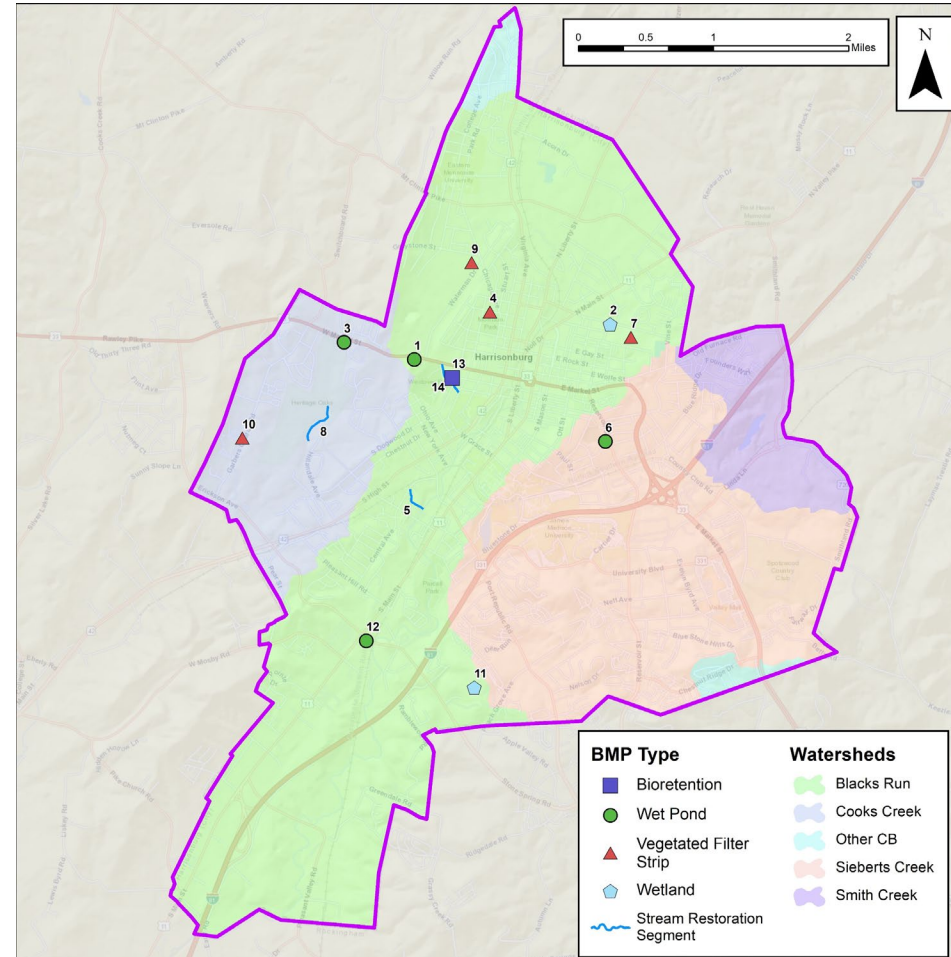
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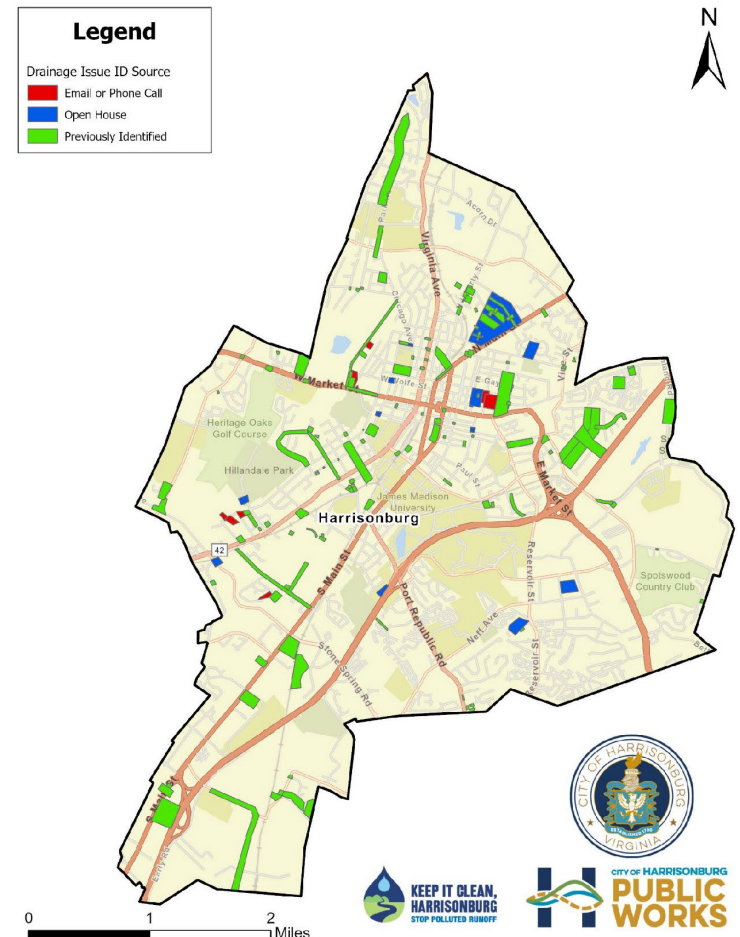


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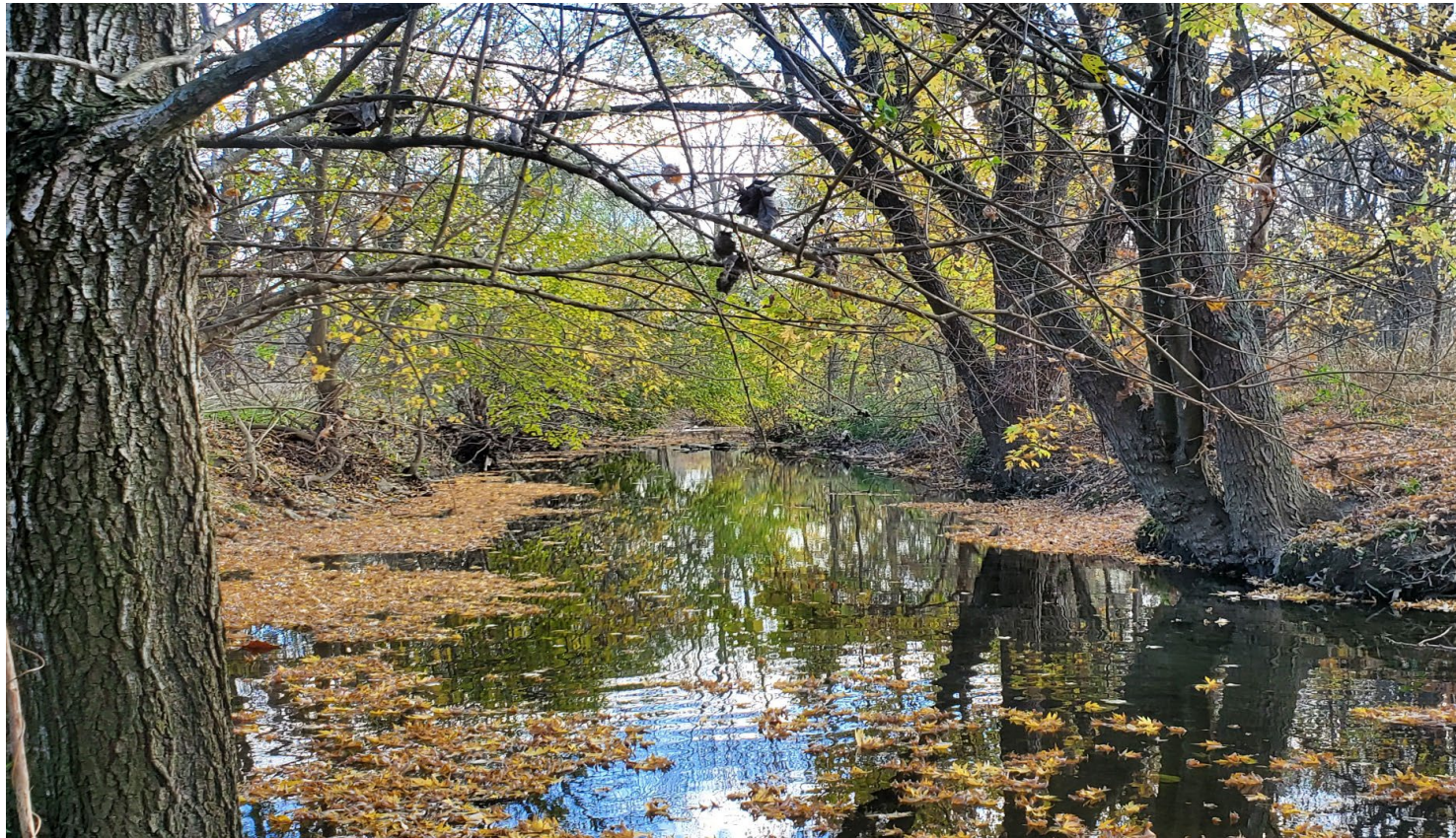


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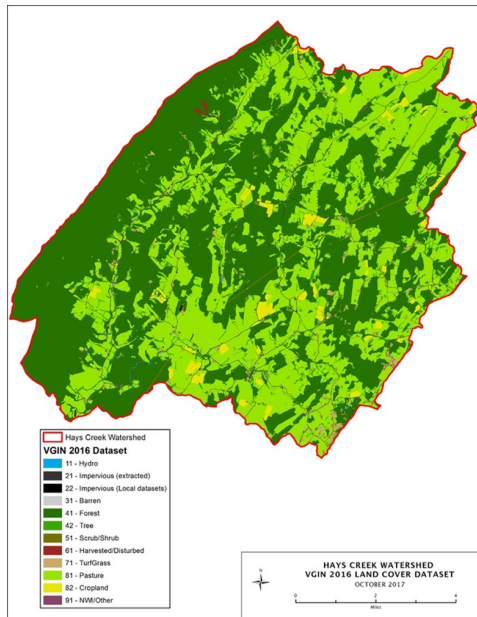
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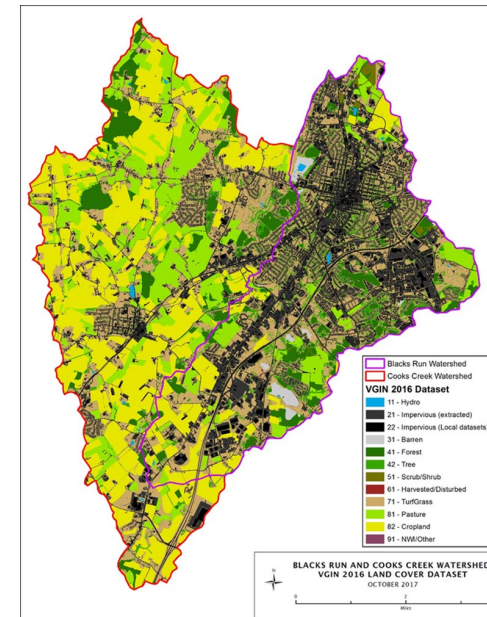
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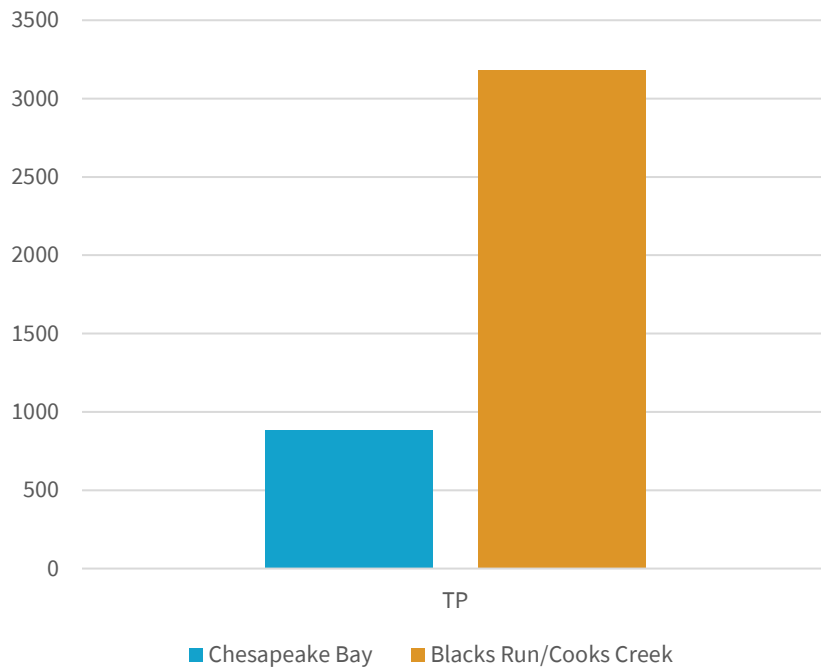
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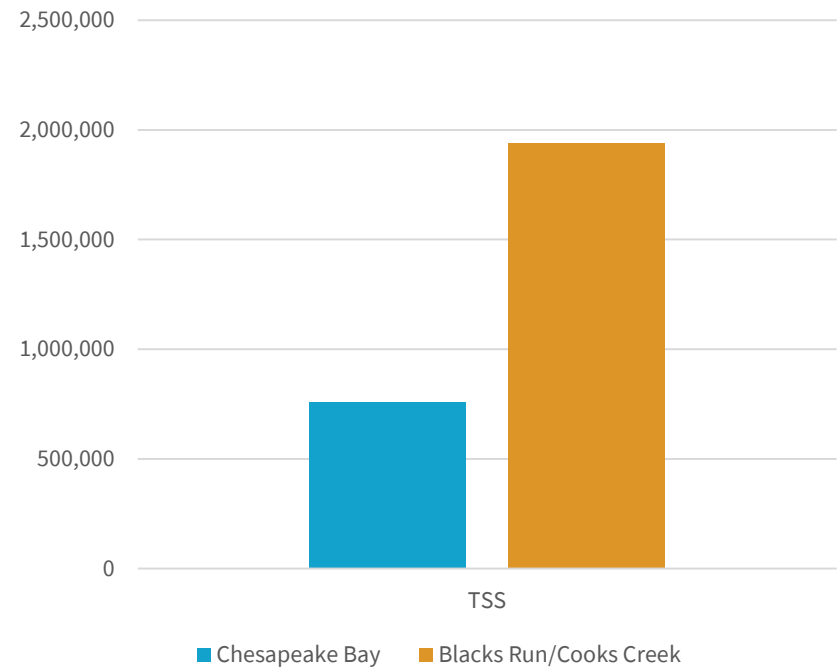
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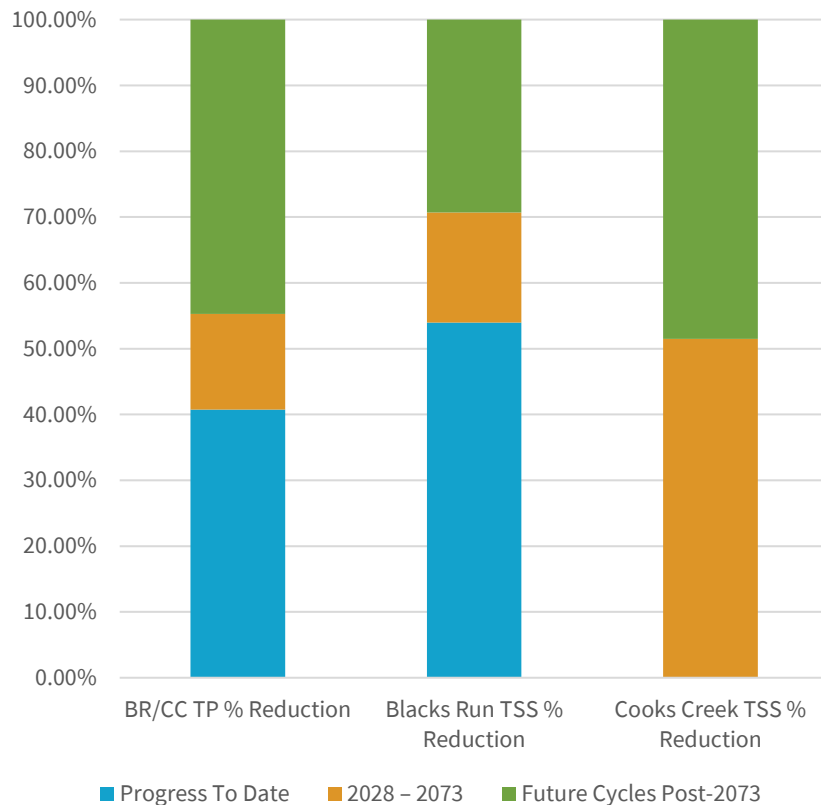
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City of Harrisonburg

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409 South Main Street
Harrisonburg, VA 22801

Legislation Text

File #: ID 26-187, **Version:** 1

Subject:

Closed Session as authorized by the Virginia Freedom of Information Act, Virginia Code Section 2.2-3711(A), under:

Subsection 7 for consultation with legal counsel and staff regarding actual or probable litigation where such consultation in open session would adversely affect the negotiating or litigating posture of City Council.

Presented By: Chris Brown, City Attorney